

EHT HEAD START FACILITY

EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY

PRELIMINARY & FINAL SITE PLANS



SITE PHOTO

TRI-COUNTY COMMUNITY ACTION AGENCY, INC. T/A GATEWAY COMMUNITY ACTION PARTNERSHIP

BRIDGETON, NEW JERSEY 08302

ARATHON

553 Beckett Road, Suite 608, Swedesboro, NJ 08085 1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401

OWNER 333 ATLANTIC AVENUE CITY, NEW JERSEY 0840

APPLICANT INTENT

PRELIMINARY AND FINAL SITE PLAN APPROVAL I DING FOR A NEW PRESCHOOL AND ASSOCIATED PARKING THE TOWNSHIP OF EGG HARBOR. CAPE ATLANTIC CONSERVATION DISTRICT. AND HE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR APPLICABLE PERMITS



SPRUCE AVENUE FRONTAGE

CHAIRPERSON SECRETARY TOWNSHIP ENGINEER

MUNICIPAL CLERK

		SHEET INDEX
SHEET NO.	DWG. NO.	S
1 OF 8	C0001	COVER SHEET
2 OF 8	C0002	INFORMATION SHEET
3 OF 8	C0101	SITE AND LANDSCAPE PLAN
4 OF 8	C0201	GRADING AND UTILITY PLAN
5 OF 8	C2801	SPRUCE AVENUE PLAN & PROFILE
6 OF 8	C1101	SITE IMPROVEMENT DETAIL SHEET
7 OF 8	C1201	SOIL EROSION AND SEDIMENT CONTROL
8 OF 8	C1301	SOIL EROSION AND SEDIMENT CONTROL

	C	OVER SHEET			
	BLOCK 19	AD START FACILITY 18, LOTS 1 & 7 (TAX SHEET #19) WNSHIP, ATLANTIC COUNTY, NEW JERSEY	MARATHO	NI	
ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION			APPR.
10/22/2015	1	INITIAL SUBMISSION			TEH
01/13/2016	2	TOWNSHIP SUBMISSION			KAI
06/17/2016	3	REVISED PER BOARD'S PROFESSIONALS AND PUBLIC HEARING COMMENTS			KAI
07/18/2016	4	REVISED TO ADD FLOODLIGHT TO EXISTING LIGHT POLE			KAI
08/23/2016	5	REVISED PER EHTMUA & ATL. CO. REVIEW CC	MMENTS	MJF	KAI
12/01/2016	6	REVISED PER COUNTY COMMENTS		LAT	KAI
12/14/2016	7	REVISED TRENCH DETAIL PER COUNTY		LAT	KAI
01/26/2017	8	REVISED PAVEMENT RESTORATION LIMITS PER COUNTY			KAI

01/26/2017

GCP 004.0

COVER SHEET

PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 33L100628400

TRI-COUNTY COMMUNITY ACTION AGENCY, INC. T/A GATEWAY COMMUNITY ACTION PARTNÉRSHIP 110 COHANSEY STREET, BRIDGETON, NEW JERSEY 08302 JASON T. SCIULLO, P.E., P.P. PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 24GE04586000

APPLICANT TRI-COUNTY COMMUNITY ACTION AGENCY

CERTIFICATION OF APPROVALS

HEREBY CERTIFY THAT THIS SITE PLAN HAS BEE PPROVED BY RESOLUTION WNSHIP OF EGG HARBOR PLANNING BOARD

DATE

DATE

DATE

DATE

SHEET TITLE

PLAN

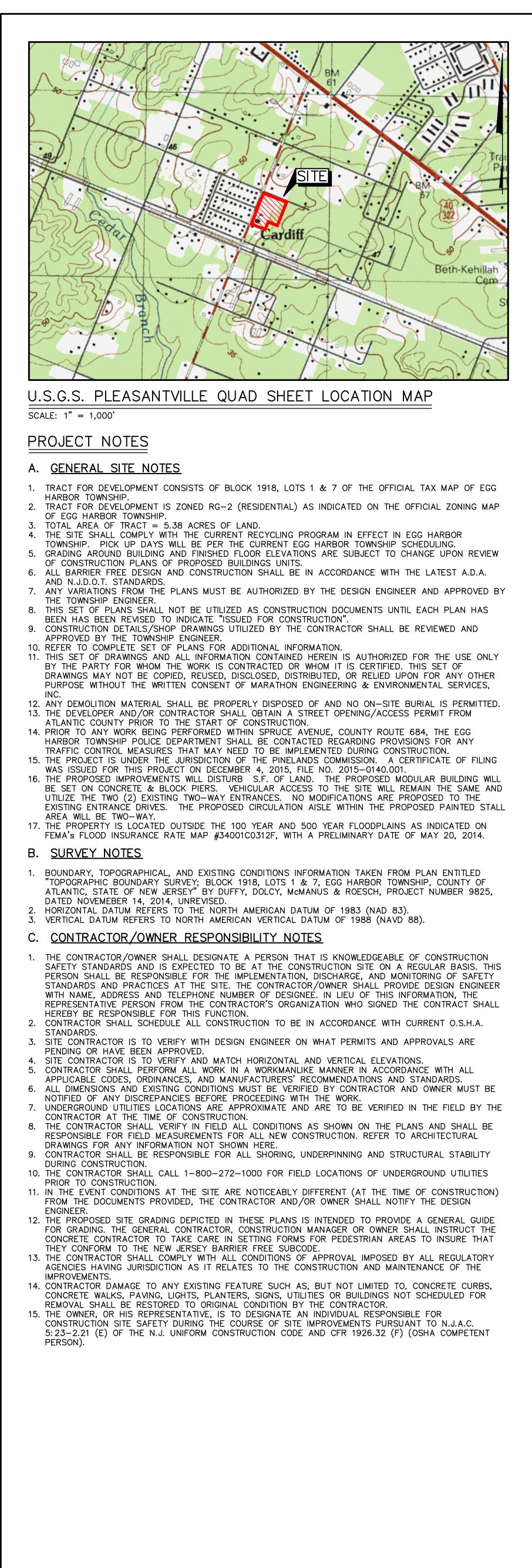
NARRATIVE AND DETAIL SHEET

ATLANTIC COUNTY APPROVALS					
OFFICE OF POI	LICY, PLANNING &	ECONOMIC	DEVELOPMENT		
□ SUBDIVISION REVIEW □ SITE PLAN REVIEW					
DATE RECEIVED	FINDINGS COUNTY ROAD OR DRAINAGE FACILITIES AFFECTED YES INO I		FILE NO.		
COUNTY PLANNING BOARD	FINDINGS APPROVED DISAPPROVED FAVORABLE UNFAVORABLE RECOMMENDATIONS	DATE OF ACTION	SIGNATURE		



ph (609) 437-2100 fax (609) 437-2101 Certificate of Authorization #24GA27995700

	Certificate of Authorization #	24GA27995700	
	ALL DOCUMENTS PREPARED BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT	scale AS SHOWN	APPROVED JTS
	INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER TO OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES. INC. FOR THE SPECIFIC	drawn by C. HARRIS	SHEET 1 OF 8
01	AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. AND SHALL INDEMNIFY AND HOLD HARMLESS MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.		





N.R.C.S. U.S. DEPARTMENT OF AGRICULTURE SOILS MAP

SCALE: 1" = 200'

1. ROADWAY & SIGNAGE NOTES

1. ALL CONSTRUCTION UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE

CONSTRUCTION AS AMENDED. 2. ALL ROADWAY DESIGN AND CONSTRUCTION FOR MUNICIPAL ROADS SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY EGG HARBOR TOWNSHIP AND THE NEW JERSEY RSIS STANDARDS. 3. ALL ROADWAY DESIGNS AND CONSTRUCTION WITHIN THE LEGAL R.O.W. LIMITS OF COUNTY ROUTE 684 SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY ATLANTIC COUNTY. 4. ALL TRAFFIC SIGN PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED. ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY SIGN POSTS AS DETAILED AND APPROVED BY NJDOT. 5. THE APPLICANT SHALL NOTIFY THE TOWNSHIP ENGINEER A MINIMUM OF 24 HOURS PRIOR TO THE START OF ANY ROAD CONSTRUCTION. 6. ALL ROADWAY SUBGRADES SHALL BE TESTED IN ACCORDANCE WITH THE ORDINANCE. ANY DEFICIENCIES SHALL BE CORRECTED TO THE SATISFACTION OF THE TOWNSHIP ENGINEER. 7. MATERIAL PLACED AS FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, STONE (>6" DIAMETER), FROZEN SOIL AND OTHER OBJECTIONABLE MATERIALS.

E. UTILITY NOTES

1. GAS, ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND THROUGHOUT THE DEVELOPMENT IN ACCORDANCE WITH REGULATIONS OF THE LOCAL UTILITY COMPANIES AND EGG HARBOR **FOWNSHIP** 2. ALL MATERIALS, METHODS AND DETAILS OF IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE REGULATIONS OF EGG HARBOR TOWNSHIP, ATLANTIC COUNTY AND/OR THE APPROPRIATE UTILITY COMPANY. WHICHEVER REGULATION TAKES PRECEDENCE. 3. WHERE IT IS NECESSARY TO CONNECT TO EXISTING UTILITIES WITHIN EXISTING ROADWAYS, THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAW CUTTING, FOR WATER AND SEWER SERVICE. TRENCHING. BACKFILL. COMPACTION AND PAVING SHALL BE IN ACCORDANCE WITH EGG HARBOR

TOWNSHIP AND ATLANTIC COUNTY SPECIFICATIONS, AS APPLICABLE. 4. BEDDING AND BACKFILL FOR THE REINFORCED CONCRETE PIPE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. 5. PIPE LENGTHS AND GRADIENTS ARE CALCULATED TO THE CENTERLINE OF STRUCTURES. ACTUAL PIPE LENGTH MAY BE LESS THAN CALCULATED LENGTH, AND SHOULD BE COMPUTED BY CONTRACTOR PRIOR TO CONSTRUCTION. 6. EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN IS FURNISHED BY THE UTILITY COMPANIES OR SURVEY PLAN BY SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF OWNER AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

F. <u>DRAINAGE NOTE</u>

THE PROPOSED IMPERVIOUS IMPROVEMENTS INCLUDE THE ADDITION OF 405 S.F. OF CONCRETE PADS/ TIMBER ACCESS STRUCTURES AND A 4,140 S.F. PORTION OF THE MODULAR BUILDING TO BE INSTALLED OVER THE EXISTING LAWN AREA. FOR A TOTAL INCREASE OF 4,545 SF. THE REMAINING IMPROVEMENTS ARE LOCATED ATOP EXISTING PAVEMENT. IN ACCORDANCE WITH THE PINELANDS COMPREHENSIVE MANAGEMENT PLAN, NO STORMWATER MANAGEMENT FACILITIES ARE REQUIRED TO BE PROVIDED. THE PROPOSED IMPROVEMENTS WILL NOT ALTER THE EXISTING DRAINAGE PATTERNS.

G. WATER AND SEWER NOTES

1. APPLICANT PROPOSES A \pm 84 L.F. WATER LATERAL TO CONNECT TO THE EXISTING MAIN LOCATED IN SPRUCE AVENUE. ALL REQUIRED LOCAL AND COUNTY APPROVALS WILL BE PROCURED. 2. APPLICANT PROPOSES A \pm 74 L.F. 6" SCHEDULE 40 PVC SEWER LATERAL TO CONNECT TO THE EXISTING MAIN LOCATED IN SPRUCE AVENUE. ALL REQUIRED PERMITS FROM NEW JERSEY AMERICAN WATER COMPANY WILL BE PROCURED.

SOILS DATA

AUGB AURA SANDY LOAM 2 TO 5 PERCENT SLOPES GamB GALLOWAY LOAMY SAND 0 TO 5 PERCENT SLOPES MumA MULLICA SANDY LOAM 0 TO 2 PERCENT SLOPES SacB SASSAFRAS SANDY LOAM 2 TO 5 PERCENT SLOPES

"A/D" SOIL GROUP "A'/D" SOIL GROUP "B" SOIL GROUP

"B" SOIL GROUP

SOILS DATA OBTAINED FROM THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY FOR ATLANTIC COUNTY. THE PROPOSED IMPROVEMENTS WILL BE LOCATED PRIMARILY OVER GALLOWAY SANDY LOAM AND A SMALL PORTION OVER SASSAFRAS SANDY

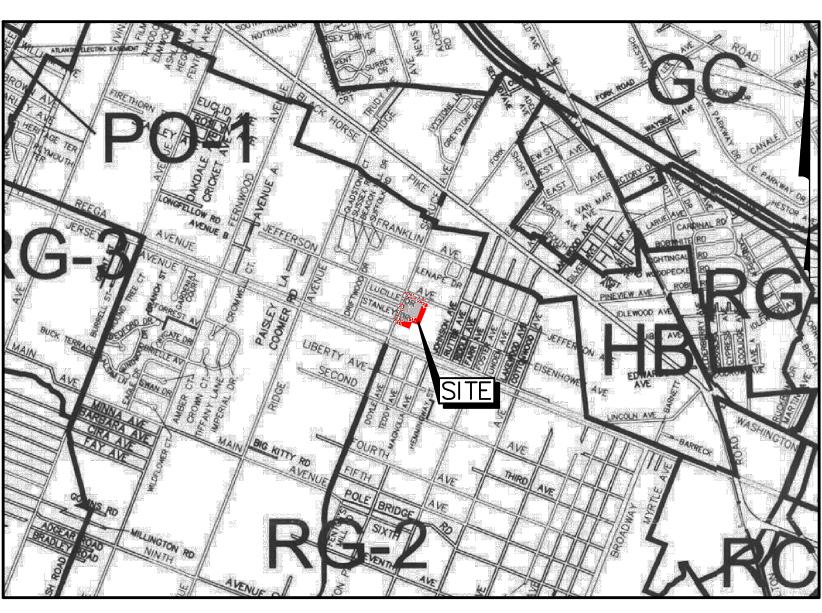
SOIL SURVEY LIMITATIONS GamB - SMALL COMMERCIAL BUILDNGS - VERY LIMITED

SacB - SMALL COMMERCIAL BUILDINGS - NOT LIMITED GamB - DWELLINGS WITHOUT BASEMENTS - VERY LIMITED

- SacB DWELLINGS WITHOUT BASEMENTS NOT LIMITED
- GamB FREQUENCY OF FLOODING NONE SacB - FREQUENCY OF FLOODING - NONE



Know what's **below. Call** before you dig.



SCALE: 1'' = 2,000'

ZONING SCHEDULE

				EXISTING	CONFORMITY		CONFORMETY
ORDINANCE SECTION	ZONE RG-2 RESIDENTIAL		Permitted or Required	CONDITIONS	CONFORMITY STATUS	PROPOSED IMPROVEMENTS	CONFORMITY STATUS
§225-45.D(4)		USE	PUBLIC AND PRIVATE SCHOOLS	SCHOOL & BASEBALL FIELD	CONFORMS	MODULAR EDUCATION BUILDING	CONFORMS
\$225-45.D(4) VIA \$225-46.D(2)(a)	MIN	IMUM LOT SIZE	1 AC.	234,225 S.F.	CONFORMS	234,225 S.F.	CONFORMS
§225 ATTM 1	MINI	MUM LOT WIDTH	100 L.F.	440 L.F.	CONFORMS	440 L.F.	CONFORMS
MINIMUM REQUIRE	D YA	RD DEPTHS					
PRINCIPAL STRUC	TURE						
\$225 ATTM 1	YA	NIMUM FRONT ARD SETBACK	25 L.F.	50.3 L.F.	CONFORMS	50 L.F.	CONFORMS
\$225 ATTM 1	Y/	INIMUM REAR ARD SETBACK	25 L.F.	144.4 L.F.	CONFORMS	294 L.F.	CONFORMS
§225 ATTM 1		IINIMUM SIDE ARD SETBACK	10 L.F.	60.0 L.F.	CONFORMS	224 L.F.	CONFORMS
§225 ATTM 1	MAXIMUM BUILDING HEIGHT		30 FT.	2 STORIES	CONFORMS	<u>≤</u> 30 FT.	CONFORMS
ACCESSORY STRU	CTUR	E					
§225 ATTM 1	MINIMUM REAR YARD SETBACK		10 L.F.	N/A	CONFORMS	N/A	CONFORMS
§225 ATTM 1	MINIMUM SIDE YARD SETBACK		10 L.F.	N/A	CONFORMS	N/A	CONFORMS
§225 ATTM 1	MAXIMUM BUILDING HEIGHT		15 FT.	N/A	CONFORMS	N/A	CONFORMS
					1	r	
§225 ATTM 1	MAXI	MUM IMPERVIOUS COVERAGE	35%	±16.4%	CONFORMS	±18.4%	CONFORMS
§225—56.A (35)(a)		IMUM PARKING EQUIREMENTS	10 SPACES (SEE NOTE 1)	12 SPACES	CONFORMS	12 SPACES (SEE NOTE 1)	CONFORMS
	ACK	FROM COUNTY R.O.W.	35'	5'	EXISTING NON CONFORMING	35'	CONFORMS
§225–45.D(4) VIA §225–46.D(2)(b)	A 0	FROM RESIDENTIAL ZONE	25'	>25'	CONFORMS	>25'	CONFORMS
		FROM MUNICIPAL R.O.W.	20'	N/A	N/A	N/A	N/A
		FROM CROSS EASEMENT	0'	N/A	N/A	N/A	N/A
ZONING SC	HE	DULE NOT	ES				

ZUNING JUILDULL NUILS 1. MINIMUM PARKING REQUIREMENTS:

ELEMENTARY SCHOOL: TWO PER CLASSROOM, BUT NOT FEWER THAN ONE PER TEACHER AND STAFF. PROPOSED: 5 CLASSROOMS, 6 STAFF MEMBERS REQUIRED PARKING = 5 CLASSROOMS X 2 SPACES = 10 SPACES PROVIDED NEW PARKING: = 12 SPACES

CHECKLIST WAIVER REQUEST LIST

CHECKLIST ITEM	RELIEF REQUESTED	DESCRPTION
3	WAIVER	KEY MAP SCALE
14	WAIVER	LIGHTING DETAILS AND PHOTOMETRICS, NO SIGNAGE IS PROPOSED
17	NOT APPLICABLE	COPY OF EXISTING AND/OR PROPOSED COVENANTS & DEED RESTRICTIONS.
18	NOT APPLICABLE	STORMWATER MANAGEMENT PLAN & REPORT
20	NOT APPLICABLE	TRAFFIC REPORT
21	NOT APPLICABLE	FISCAL IMPACT REPORT
22	NOT APPLICABLE	MODIFICATION REPORT
23.a	WAIVER	EXISTING UTILITY LINE INFORMATION
23.b	WAIVER	UTILITY WILL SERVE LETTERS
24	NOT APPLICABLE	PROFILES OF PROPOSED STREETS
28	NOT APPLICABLE	DELINEATION OF STREAM CORRIDORS OR STEEP SLOPES
30	NOT APPLICABLE	LOCATION OF EXISTING WELLS AND SEPTIC
31.b.,c.,d.,g.,i., and j.	NOT APPLICABLE	NATURAL RESOURCE INFORMATION REGARDING ON-SITE SOIL CHARACTERISTICS
32	NOT APPLICABLE	SIGHT TRIANGLES, CURB RADII, STREET SIGNS AT INTERSECTIONS
33	NOT APPLICABLE	SOIL CONSERVATION DISTRICT PLAN ONFORMATION
37	NOT APPLICABLE	PROPOSED EASEMENTS OF LAND DEDICATED FOR PUBLIC USE

UTILITIES ATLANTIC CITY ELECTRIC

5100 HARDING HIGHWAY #399 MAYS LANDING, NJ 08330-9902

SOUTH JERSEY GAS COMPANY CORPORATE SECRETARY #1 SOUTH JERSEY PLAZA RT. 54 FOLSOM, NJ 08037 VERIZON

423 W WASHINGTON AVE 2nd FLR PLEASANTVILLE, NJ 08232 NEW JERSEY AMERICAN WATER CO ATTN: WALT FRANKS

3215 FIRE RD EGG HARBOR TWP, NJ 08234-5857 ATLANTIC CITY EXPRESSWAY SOUTH JERSEY TRANSPORTAION ATTN: KATHLEEN AUFSCHNEIDER. DIRECTOR OF POLICY AND PLANNING

PO BOX 351 HAMMONTON, NJ 08037

ATLANTIC COUNTY UTILITIES AUTHORITY TOM GANARD, DEPUTY CHIEF ENGINEER PO BOX 996

PLEASANTVILLE, NJ 08232-0996 COMCAST

GREGG SMITH, PROJECT MANAGER 901 W. LEEDS AVE ABSECON, NJ 08201

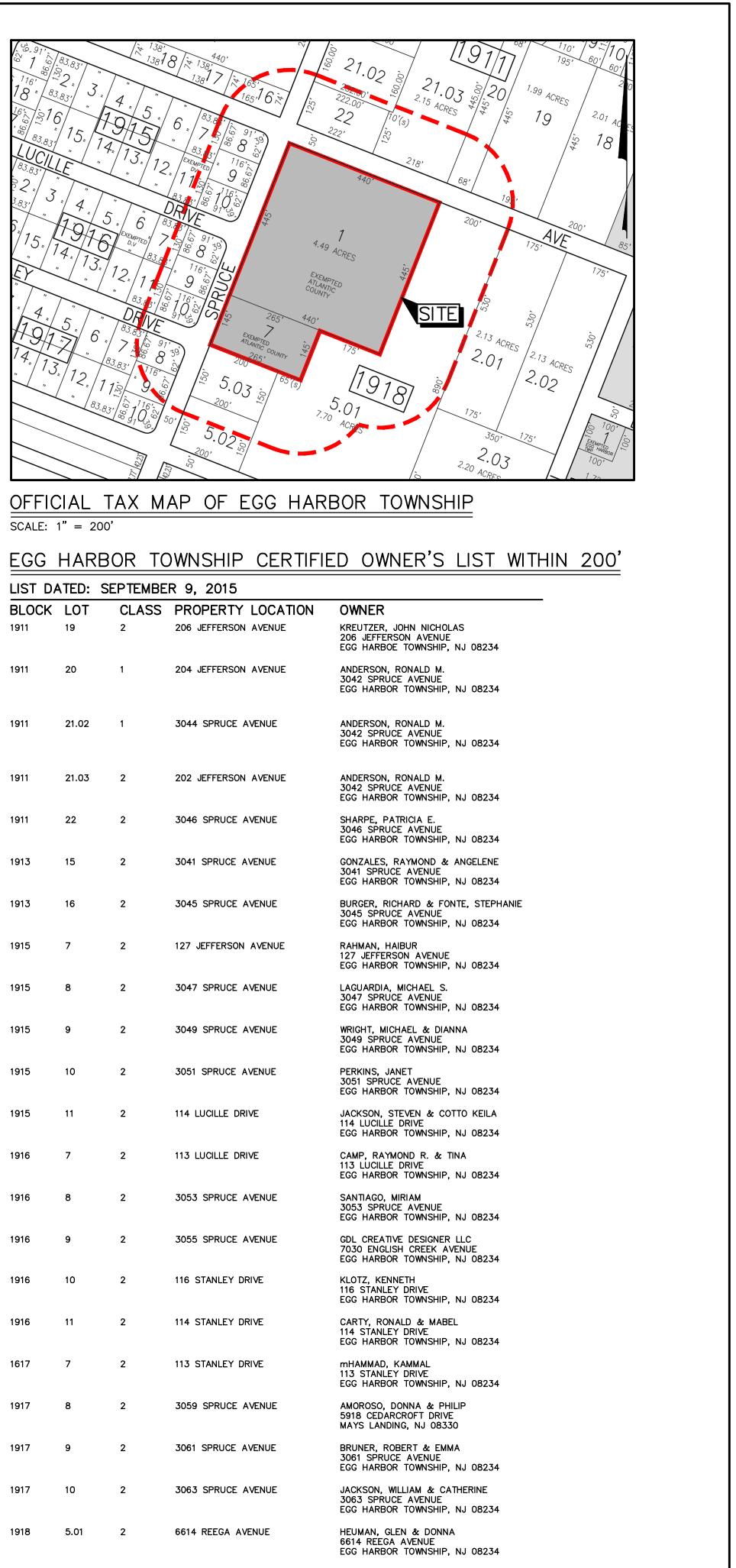
OFFICIAL ZONING MAP OF EGG HARBOR TOWNSHIP

FGG HARBOR TOWNSHIP EILEEN TEDESCO, TOWNSHIP CLERK 3515 BARGAINTOWN ROAD, EGG HARBOR TWP, NJ 08234 EGG HARBOR TOWNSHIP MUNICIPAL UTILITIES AUTHORITY NATE DAVIS. CHAIRMAN 3515 BARGAINTOWN ROAD. EGG HARBOR TWP, NJ 08234 GARDEN STATE PARKWAY AUTHORITY WOODBRIDGE, NJ 07095

WEST JERSEY & SEASHORE RAILROAD 15 NORTH 32ND STREET PHILADELPHIA, PA 19104

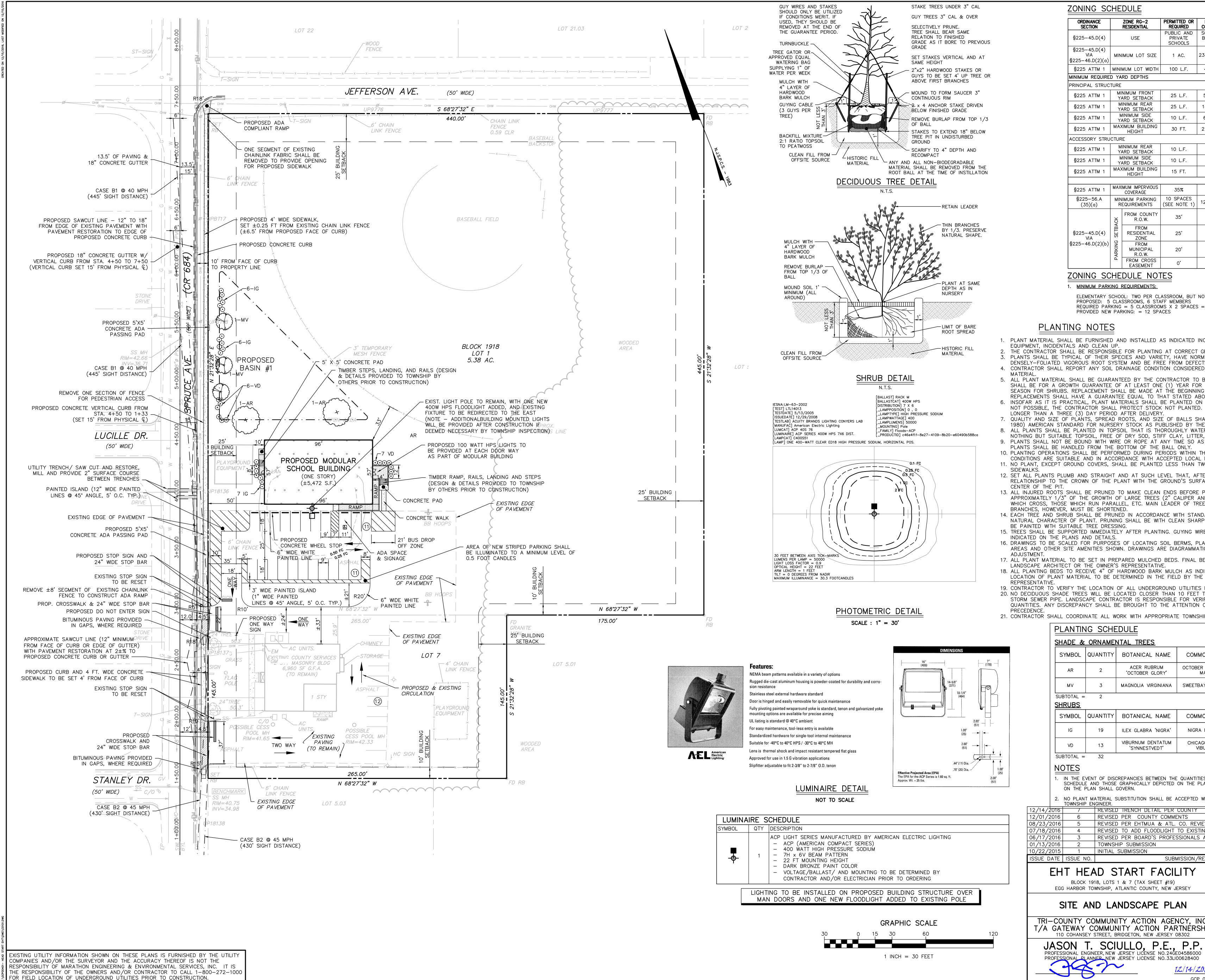
ATLANTIC CITY INTERNATIONAL AIRPORT ATTN: SHARON GORDON AC INTERNATIONAL AIRPORT SUITE 106 EGG HARBOR TWP, NJ 08234 177th FIGHTER WING ATLANTIC CITY

COLONEL RANDALL KING 400 LANGLEY BLVD EGG HARBOR TWP, 08234 COUNTY ROADS, ATLANTIC COUNTY PLANNING BOARD P.O. BOX 719 NORTHFIELD, NJ 08225-0719



			R 9, 2015	
BLOCK		CLASS		OWNER
1911	19	2	206 JEFFERSON AVENUE	KREUTZER, JOHN NICHOLAS 206 JEFFERSON AVENUE EGG HARBOE TOWNSHIP, NJ 08234
1911	20	1	204 JEFFERSON AVENUE	ANDERSON, RONALD M. 3042 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1911	21.02	1	3044 SPRUCE AVENUE	ANDERSON, RONALD M. 3042 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1911	21.03	2	202 JEFFERSON AVENUE	ANDERSON, RONALD M. 3042 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1911	22	2	3046 SPRUCE AVENUE	SHARPE, PATRICIA E. 3046 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1913	15	2	3041 SPRUCE AVENUE	GONZALES, RAYMOND & ANGELENE 3041 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1913	16	2	3045 SPRUCE AVENUE	BURGER, RICHARD & FONTE, STEPH 3045 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1915	7	2	127 JEFFERSON AVENUE	RAHMAN, HAIBUR 127 JEFFERSON AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1915	8	2	3047 SPRUCE AVENUE	LAGUARDIA, MICHAEL S. 3047 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1915	9	2	3049 SPRUCE AVENUE	WRIGHT, MICHAEL & DIANNA 3049 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1915	10	2	3051 SPRUCE AVENUE	PERKINS, JANET 3051 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1915	11	2	114 LUCILLE DRIVE	JACKSON, STEVEN & COTTO KEILA 114 LUCILLE DRIVE EGG HARBOR TOWNSHIP, NJ 08234
1916	7	2	113 LUCILLE DRIVE	CAMP, RAYMOND R. & TINA 113 LUCILLE DRIVE EGG HARBOR TOWNSHIP, NJ 08234
1916	8	2	3053 SPRUCE AVENUE	SANTIAGO, MIRIAM 3053 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1916	9	2	3055 SPRUCE AVENUE	GDL CREATIVE DESIGNER LLC 7030 ENGLISH CREEK AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1916	10	2	116 STANLEY DRIVE	KLOTZ, KENNETH 116 STANLEY DRIVE EGG HARBOR TOWNSHIP, NJ 08234
1916	11	2	114 STANLEY DRIVE	CARTY, RONALD & MABEL 114 STANLEY DRIVE EGG HARBOR TOWNSHIP, NJ 08234
1617	7	2	113 STANLEY DRIVE	mHAMMAD, KAMMAL 113 STANLEY DRIVE EGG HARBOR TOWNSHIP, NJ 08234
1917	8	2	3059 SPRUCE AVENUE	AMOROSO, DONNA & PHILIP 5918 CEDARCROFT DRIVE MAYS LANDING, NJ 08330
1917	9	2	3061 SPRUCE AVENUE	BRUNER, ROBERT & EMMA 3061 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1917	10	2	3063 SPRUCE AVENUE	JACKSON, WILLIAM & CATHERINE 3063 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1918	5.01	2	6614 REEGA AVENUE	HEUMAN, GLEN & DONNA 6614 REEGA AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1918	5.02	1	6600 REEGA AVENUE	HEUMAN, GLEN & DONNA 6614 REEGA AVENUE EGG HARBOR TOWNSHIP, NJ 08234
1918	5.03	2	3058 SPRUCE AVENUE	RAYMOND, HEID E. 3058 SPRUCE AVENUE EGG HARBOR TOWNSHIP, NJ 08234

01/26/2017	8 REVISED PAVEMENT RESTORATION LIMITS PER COUNTY	LAT	KAI
12/14/2016	7 REVISED TRENCH DETAIL PER COUNTY	LAT	KAI
12/01/2016	6 REVISED PER COUNTY COMMENTS	LAT	KAI
08/23/2016	5 REVISED PER EHTMUA & ATL. CO. REVIEW COMMENTS	MJF	KAI
	4 REVISED TO ADD FLOODLIGHT TO EXISTING LIGHT POLE	MJF	KAI
06/17/2016	3 REVISED PER BOARD'S PROFESSIONALS AND PUBLIC HEARING COMMENTS	LAT	KAI
	2 TOWNSHIP SUBMISSION	LAT	KAI
10/22/2015	1 INITIAL SUBMISSION	CWH	TEH
ISSUE DATE ISSU	E NO. SUBMISSION/REVISION	BY	APPR.
EGG HAR	OCK 1918, LOTS 1 & 7 (TAX SHEET #19) BOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY INFORMATION SHEET Atlantic City Office	Services ce	
TRI-COUNT T/A GATEW 110 COH	Y COMMUNITY ACTION AGENCY, INC. AY COMMUNITY ACTION PARTNERSHIP ANSEY STREET, BRIDGETON, NEW JERSEY 08302	37-2101 A27995700	1
JASON PROFESSIONAL PROFESSIONAL	T. SCIULLO, P.E., P.P. ENGINEER, NEW JERSEY LICENSE NO.24GE04586000 PLANNER NEW JERSEY LICENSE NO.33LI00628400 01/2.6/2.017 GCP 004.01 ALL DOCUMENTS PREPARED BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT DESCRIPTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE PROJECT. DESCRIPTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC DIVENTION OF ADAPTATION BY ANATHON ENGINEERING ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES AND EXPENSES AND EXPENSES AND EXPENSES AND EXPENSES AND ENVIRONMENTAL SERVICES, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES AN	DRAWN BY	SHEET OF 8



ZONING SCHEDULE

ZUNING SC		DOLL					
ORDINANCE SECTION	ZONE RG-2 RESIDENTIAL		Permitted or Required	EXISTING CONDITIONS	CONFORMITY STATUS	PROPOSED IMPROVEMENTS	CONFORMITY STATUS
§225-45.D(4)		USE	PUBLIC AND PRIVATE SCHOOLS	SCHOOL & BASEBALL FIELD	CONFORMS	MODULAR EDUCATION BUILDING	CONFORMS
\$225-45.D(4) VIA \$225-46.D(2)(a)	MIN	IMUM LOT SIZE	1 AC.	234,225 S.F.	CONFORMS	234,225 S.F.	CONFORMS
§225 ATTM 1	MINI	MUM LOT WIDTH	100 L.F.	440 L.F.	CONFORMS	440 L.F.	CONFORMS
MINIMUM REQUIRE	D YA	RD DEPTHS					
PRINCIPAL STRUC	TURE						
§225 ATTM 1		NIMUM FRONT ARD SETBACK	25 L.F.	50.3 L.F.	CONFORMS	50 L.F.	CONFORMS
§225 ATTM 1		INIMUM REAR ARD SETBACK	25 L.F.	144.4 L.F.	CONFORMS	294 L.F.	CONFORMS
§225 ATTM 1	MINIMUM SIDE YARD SETBACK		10 L.F.	60.0 L.F.	CONFORMS	224 L.F.	CONFORMS
§225 ATTM 1	MAXIMUM BUILDING HEIGHT		30 FT.	2 STORIES	CONFORMS	<u>≤</u> 30 FT.	CONFORMS
ACCESSORY STRU	CTUR	E					
§225 ATTM 1	MINIMUM REAR YARD SETBACK		10 L.F.	N/A	CONFORMS	N/A	CONFORMS
§225 ATTM 1	MINIMUM SIDE YARD SETBACK		10 L.F.	N/A	CONFORMS	N/A	CONFORMS
§225 ATTM 1	MAXIMUM BUILDING HEIGHT		15 FT.	N/A	CONFORMS	N/A	CONFORMS
§225 ATTM 1	MAXI	MUM IMPERVIOUS COVERAGE	35%	±16.4%	CONFORMS	±18.4%	CONFORMS
§225—56.A (35)(a)	MINIMUM PARKING REQUIREMENTS		10 SPACES (SEE NOTE 1)	12 SPACES	CONFORMS	12 SPACES (SEE NOTE 1)	CONFORMS
§225–45.D(4) VIA §225–46.D(2)(b)	ACK	FROM COUNTY R.O.W.	35'	5'	EXISTING NON CONFORMING	35'	CONFORMS
	SETBACK	FROM RESIDENTIAL ZONE	25'	>25'	CONFORMS	>25'	CONFORMS
	PARKING	FROM MUNICIPAL R.O.W.	20'	N/A	N/A	N/A	N/A
		FROM CROSS EASEMENT	0'	N/A	N/A	N/A	N/A

ZUNING SC		DOLL					
ORDINANCE SECTION	ZONE RG-2 RESIDENTIAL		PERMITTED OR REQUIRED	EXISTING CONDITIONS	CONFORMITY STATUS	PROPOSED IMPROVEMENTS	CONFORMITY STATUS
§225-45.D(4)		USE	PUBLIC AND PRIVATE SCHOOLS	SCHOOL & BASEBALL FIELD	CONFORMS	MODULAR EDUCATION BUILDING	CONFORMS
\$225-45.D(4) VIA \$225-46.D(2)(a)	MIN	IMUM LOT SIZE	1 AC.	234,225 S.F.	CONFORMS	234,225 S.F.	CONFORMS
§225 ATTM 1	MINI	MUM LOT WIDTH	100 L.F.	440 L.F.	CONFORMS	440 L.F.	CONFORMS
MINIMUM REQUIRE	D YA	RD DEPTHS					
PRINCIPAL STRUC	TURE						
§225 ATTM 1		NIMUM FRONT ARD SETBACK	25 L.F.	50.3 L.F.	CONFORMS	50 L.F.	CONFORMS
§225 ATTM 1		INIMUM REAR ARD SETBACK	25 L.F.	144.4 L.F.	CONFORMS	294 L.F.	CONFORMS
§225 ATTM 1	MINIMUM SIDE YARD SETBACK		10 L.F.	60.0 L.F.	CONFORMS	224 L.F.	CONFORMS
§225 ATTM 1	MAXIMUM BUILDING HEIGHT		30 FT.	2 STORIES	CONFORMS	<u>≤</u> 30 FT.	CONFORMS
ACCESSORY STRU	CTUR	E					
§225 ATTM 1	MINIMUM REAR YARD SETBACK		10 L.F.	N/A	CONFORMS	N/A	CONFORMS
§225 ATTM 1	MINIMUM SIDE YARD SETBACK		10 L.F.	N/A	CONFORMS	N/A	CONFORMS
§225 ATTM 1	MAXIMUM BUILDING HEIGHT		15 FT.	N/A	CONFORMS	N/A	CONFORMS
§225 ATTM 1	ΜΑΧΙ	MUM IMPERVIOUS COVERAGE	35%	±16.4%	CONFORMS	±18.4%	CONFORMS
§225—56.A (35)(a)	MINIMUM PARKING REQUIREMENTS		10 SPACES (SEE NOTE 1)	12 SPACES	CONFORMS	12 SPACES (SEE NOTE 1)	CONFORMS
§225–45.D(4) VIA §225–46.D(2)(b)	ACK	FROM COUNTY R.O.W.	35'	5'	EXISTING NON CONFORMING	35'	CONFORMS
	SETBACK	FROM RESIDENTIAL ZONE	25'	>25'	CONFORMS	>25'	CONFORMS
	PARKING	FROM MUNICIPAL R.O.W.	20'	N/A	N/A	N/A	N/A
		FROM CROSS EASEMENT	0'	N/A	N/A	N/A	N/A

ZONING SCHEDULE NOTES

MINIMUM PARKING REQUIREMENTS:

ELEMENTARY SCHOOL: TWO PER CLASSROOM, BUT NOT FEWER THAN ONE PER TEACHER AND STAFF. PROPOSED: 5 CLASSROOMS, 6 STAFF MEMBERS REQUIRED PARKING = 5 CLASSROOMS X 2 SPACES = 10 SPACES PROVIDED NEW PARKING: = 12 SPACES

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIAL, PLANTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENTS.

3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY-FOLIATED VIGOROUS ROOT SYSTEM AND BE FREE FROM DEFECTS AND INJURIES. 4. CONTRACTOR SHALL REPORT ANY SOIL DRAINAGE CONDITION CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT

- 5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FOR TREES AND A MINIMUM OF ONE (1) GROWING SEASON FOR SHRUBS. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANT SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE. 6. INSOFAR AS IT IS PRACTICAL, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS
- NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY. 7. QUALITY AND SIZE OF PLANTS, SPREAD ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z80 (REV.
- 1980) AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. 8. ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, ETC. SHALL BE USED FOR PLANTING.
- 9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK AND BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- 10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES.
- 11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO (2) FEET FROM EXISTING STRUCTURES AND
- 12. SET ALL PLANTS PLUMB AND STRAIGHT AND AT SUCH LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND'S SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE
- 13. ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3" OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES MUST NOT BE CUT BACK. LONG SIDE 14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE
- NATURAL CHARACTER OF PLANT. PRUNING SHALL BE WITH CLEAN SHARP TOOLS. CUTS OVER 3/4" IN DIAMETER SHALL 15. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. GUYING WIRES AND STAKES SHALL BE INSTALLED AS
- 16. DRAWINGS TO BE SCALED FOR PURPOSES OF LOCATING SOIL BERMS, PLANT MATERIAL, PLANTING BEDS, GROUND COVER AREAS AND OTHER SITE AMENITIES SHOWN. DRAWINGS ARE DIAGRAMMATIC: PLANT MATERIAL IS SUBJECT TO FIELD
- 17. ALL PLANT MATERIAL TO BE SET IN PREPARED MULCHED BEDS. FINAL BED LINES TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE. 18. ALL PLANTING BEDS TO RECEIVE 4" OF HARDWOOD BARK MULCH AS INDICATED ON THE PLANTING DETAILS. FINAL
- LOCATION OF PLANT MATERIAL TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR THE OWNER'S 19. CONTRACTOR TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION ACTIVITIES. 20. NO DECIDUOUS SHADE TREES WILL BE LOCATED CLOSER THAN 10 FEET TO ANY SUBSURFACE DISPOSAL SYSTEM OR
- STORM SEWER PIPE. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATIONS OF ALL PLANTED MATERIAL QUANTITIES. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. PLAN HOLDS 21. CONTRACTOR SHALL COORDINATE ALL WORK WITH APPROPRIATE TOWNSHIP AGENCIES AND UTILITIES COMPANIES.

PLANTIN	IG SCHE	DULE			
SHADE &	ORNAME	NTAL TREES			
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
AR	2	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	10' –12', 2"–2.5" Cal.	B & B
MV	3	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	6' – 8'	В & В оі #10 CAN
subtotal = <u>SHRUBS</u>	2				
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
IG	19	ILEX GLABRA 'NIGRA'	NIGRA INKBERRY	24" -30"	#3 CAN (4' O.C.)
		VIBURNUM DENTATUM	CHICAGO LUSTRE	24" – 30"	#3 CAN

1. IN THE EVENT OF DISCREPANCIES BETWEEN THE QUANTITIES OF PLANTS INDICATED ON THE PLANT SCHEDULE AND THOSE GRAPHICALLY DEPICTED ON THE PLANS, THE PLANT QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.

2. NO PLANT MATERIAL SUBSTITUTION SHALL BE ACCEPTED WITHOUT WRITTEN PERMISSION FROM THE

		TOWNSHIP EN	GINEER.			
2/14/2	2016	/	REVISED TRENCH DETAIL PER COUNTY			
2/01/2	2016	6	REVISED PER COUNTY COMMENTS			
8/23/2	2016	5	REVISED PER EHTMUA & ATL. CO. REVIEW COMM			
7/18/2	2016	4	REVISED TO ADD FLOODLIGHT TO EXISTING LIGHT			
6/17/2	2016	3	REVISED PER BOARD'S PROFESSIONALS AND PUB			
1/13/2	2016	2	TOWNSHIP SUBMISSION			
0/22/2	2015	1	INITIAL SUBMISSION			
SSUE D	ATE	ISSUE NO.	SUBMISSION/REVISION			
	EHT HEAD START FACILITY BLOCK 1918, LOTS 1 & 7 (TAX SHEET #19) EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY					
SITE AND LANDSCAPE PLAN						

SHE AND LANDSCAPE PLAN

TRI-COUNTY COMMUNITY ACTION AGENCY, INC. T/A GATEWAY COMMUNITY ACTION PARTNERSHIP

12/14/2016

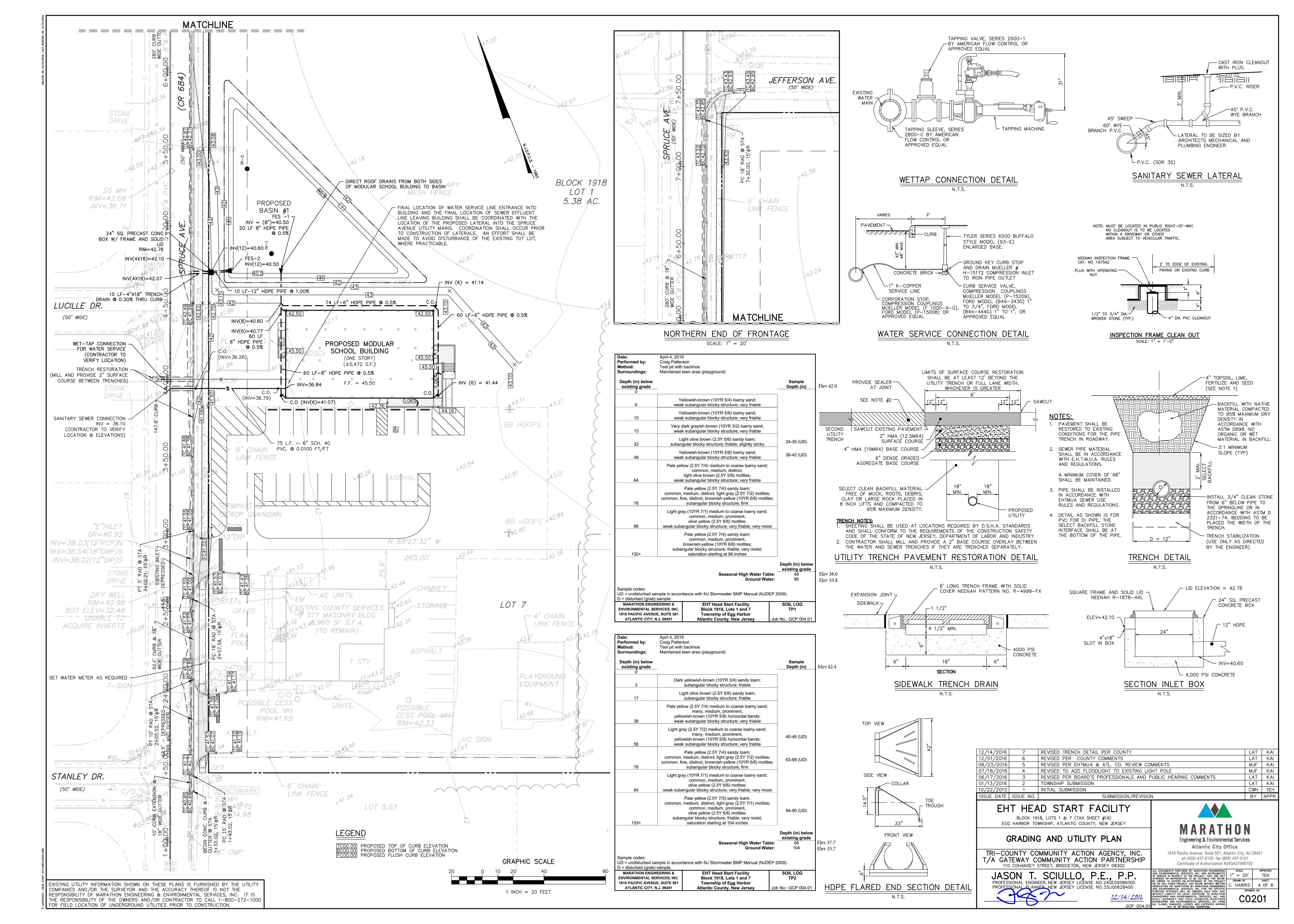
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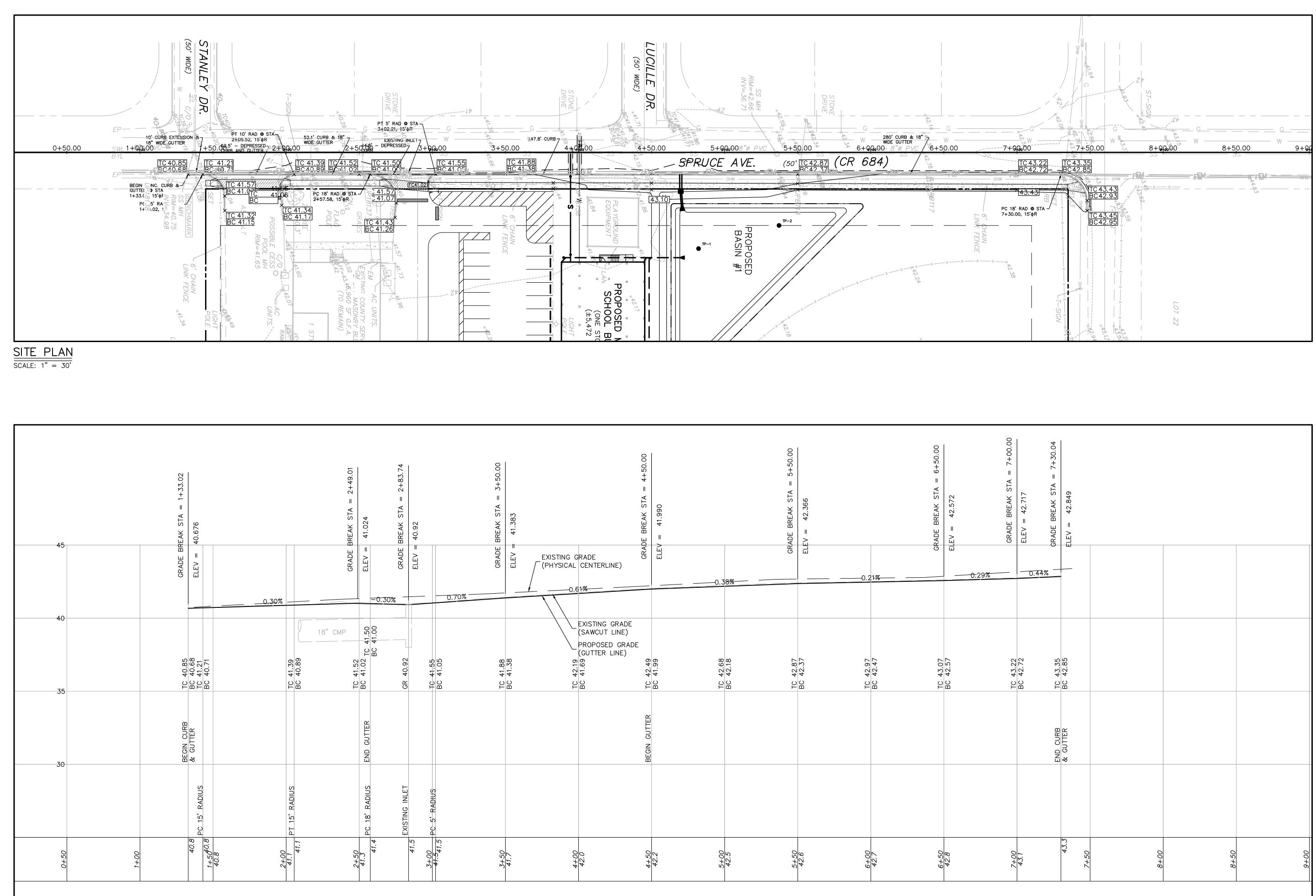
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MARATHON Engineering & Environmental Services Atlantic City Office

1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401 ph (609) 437-2100 fax (609) 437-2101 Certificate of Authorization #24GA27995700

 ALL DOCUMENTS PREPARED BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER TO OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITEN VERIFICATION OR ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE OWNERS SOLE RISK AND ENGINEERING AND ENVIRONMENTAL SERVICES, INC. AND SHALL INDEMNIFY AND HOLD HARMLESS MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.
 SCALE 1" = 30' TEH DRAWN BY SHEET C. HARRIS DRAWN BY SHEET C. HARRIS J OF 8 DRAWING NO.

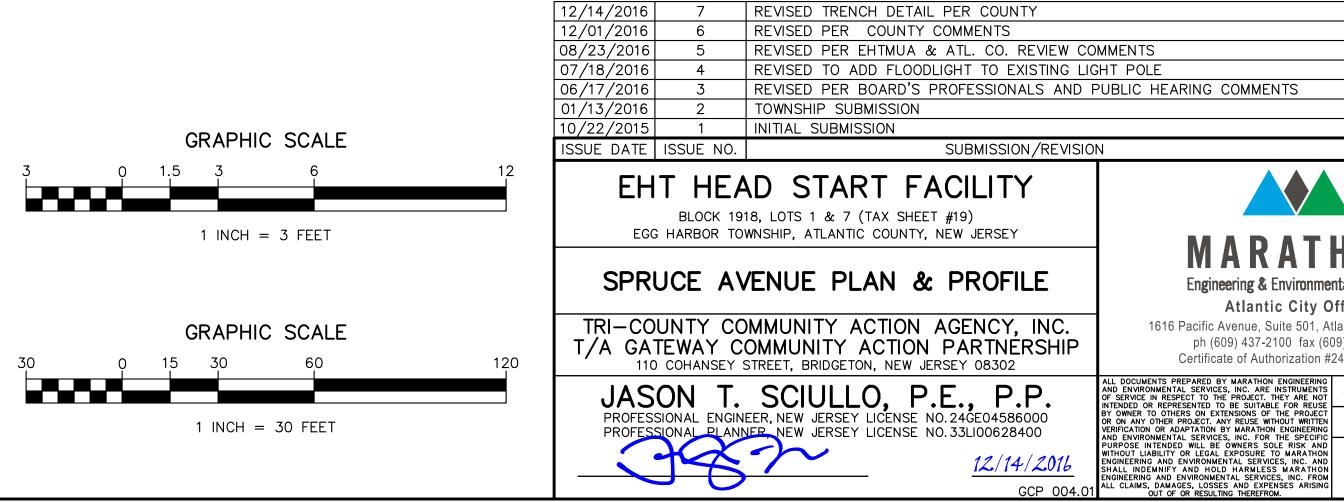




SPRUCE AVENUE PROFILE

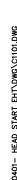
HORIZONTAL SCALE: 1" = 30' VERTICAL SCALE: 1" = 3'

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

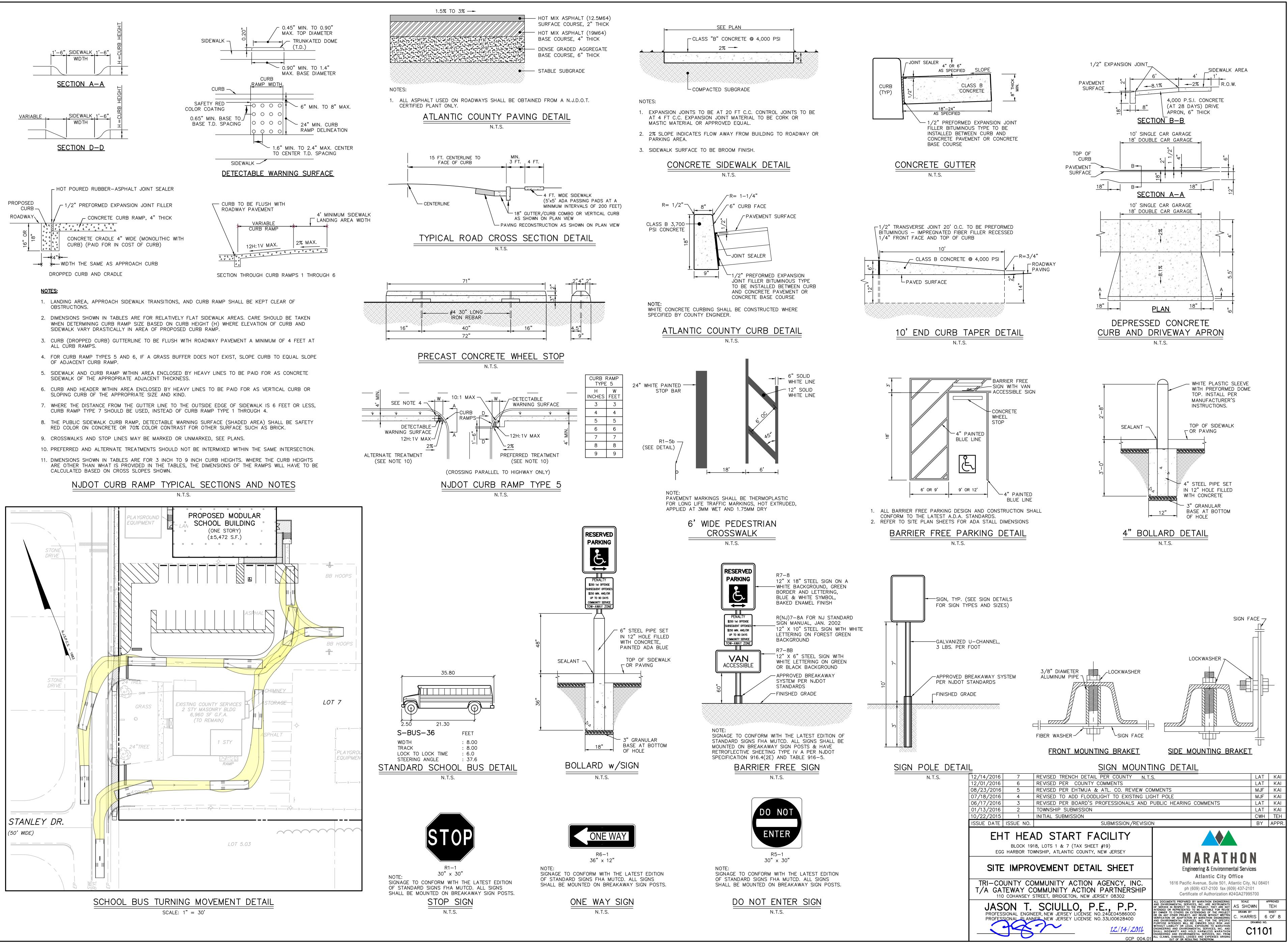


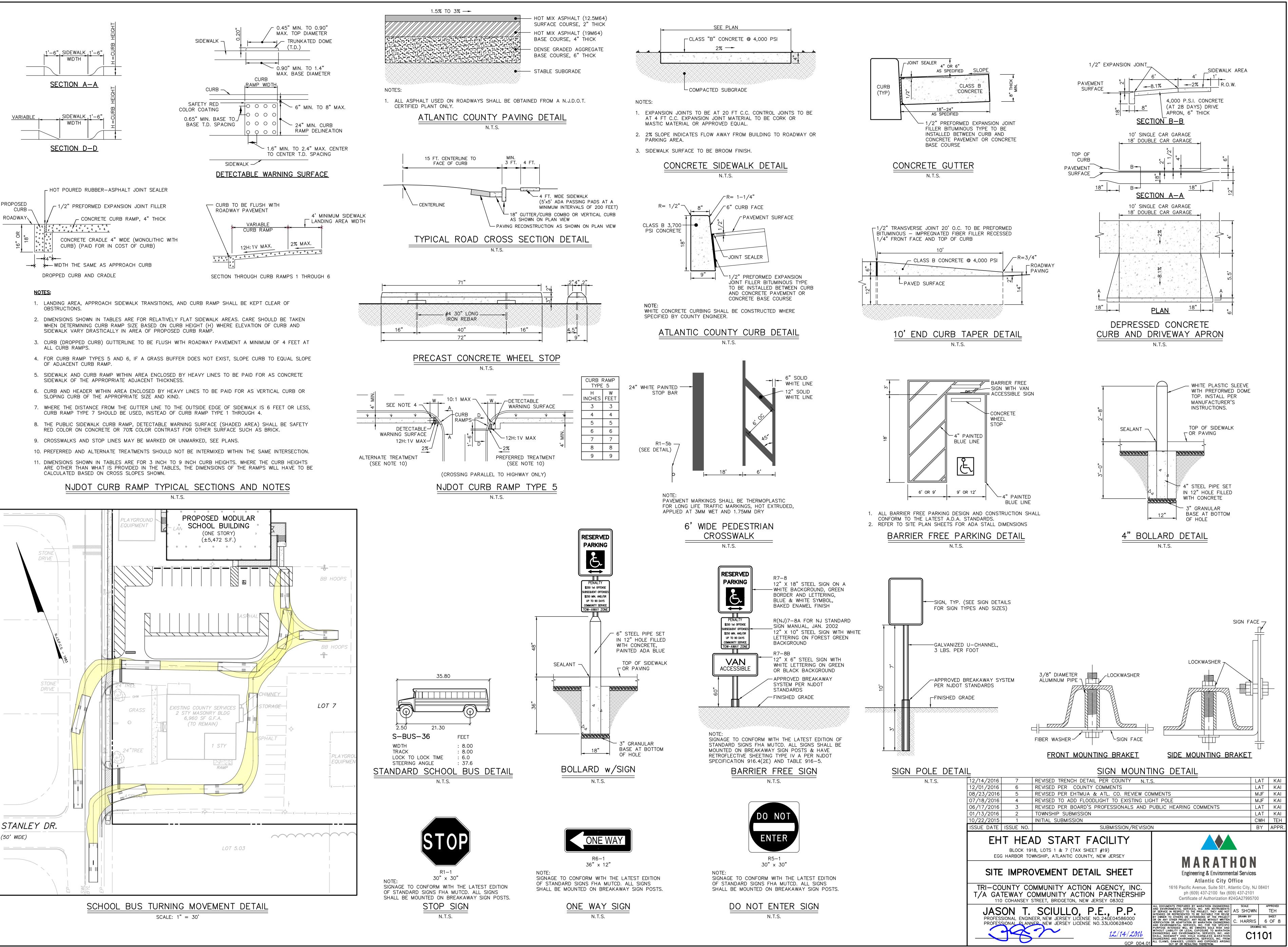
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BARRATHON Engineering & Environmental Services Atlantic City Office 1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401 ph (609) 437-2100 fax (609) 437-2101 Certificate of Authorization #24GA27995700			
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INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER TO OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN	DRAWN BY		SHEET
VERIFICATION OR ADAPTATION BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC	DFW	-	OF 8
PURPOSE INTENDED WILL BE OWNERS SOLE RISK AND	DRAWN	NG NO.	

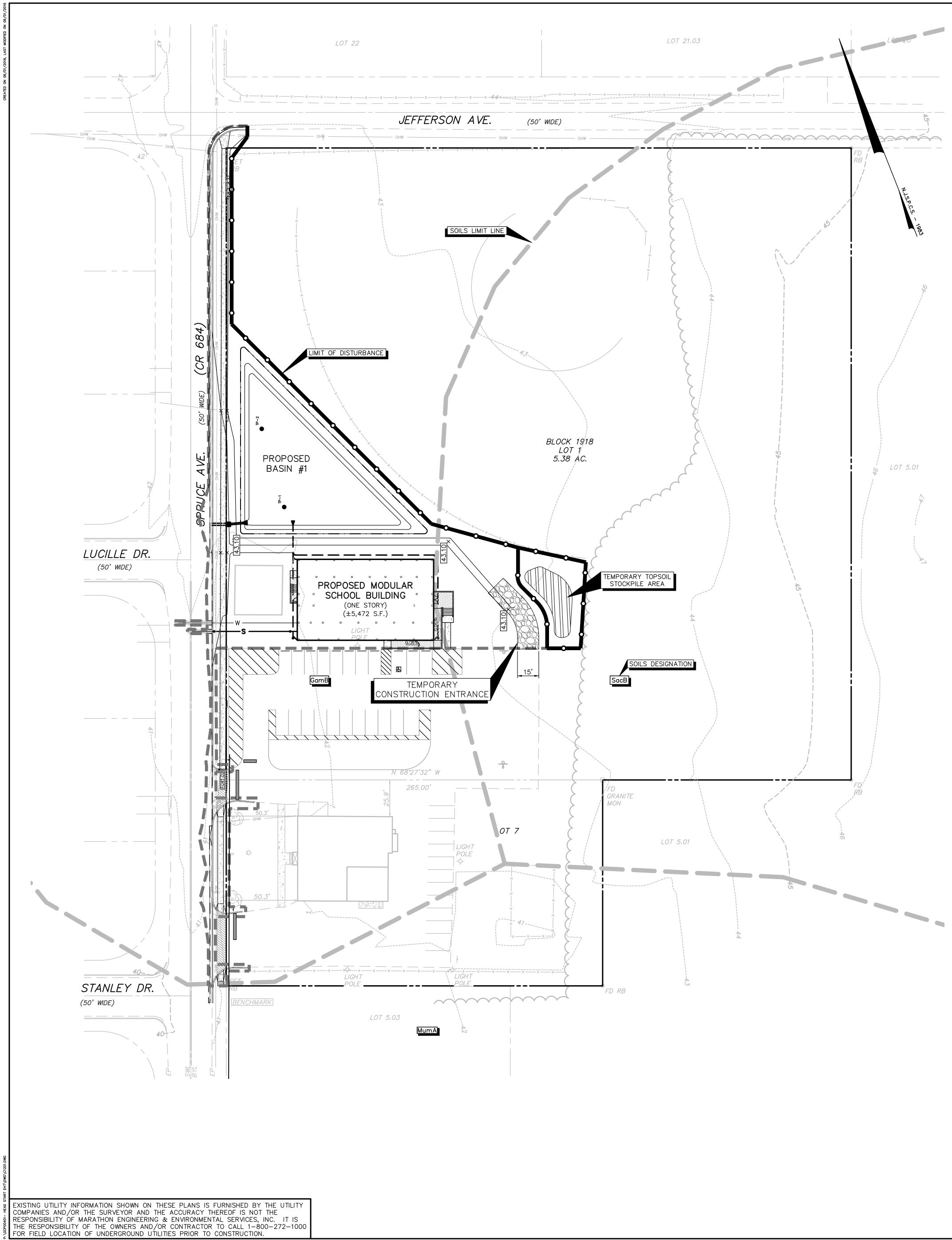
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EROSION NOTES

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL APPLY TO SUBSEQUENT OWNERS IF TITLE IS CONVEYED.
- 2. THIS PLAN IS TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.
- SET FORTH BY THE CAPE ATLANTIC CONSERVATION DISTRICT. 4. ALL TOPSOIL STORAGE AREAS SHALL BE REMOVED PRIOR TO FINAL OCCUPANCY OF THE BUILDING AND
- AREA RESTORED TO PRE-DEVELOPMENT CONDITIONS. 5. SOIL HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE MUST BE COVERED WITH A MINIMUM
- OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE BEFORE SEEDBED PREPARATION.
- COMPLIANCE INSPECTION TO CHECK THAT ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES.

<u>LEGEND</u>

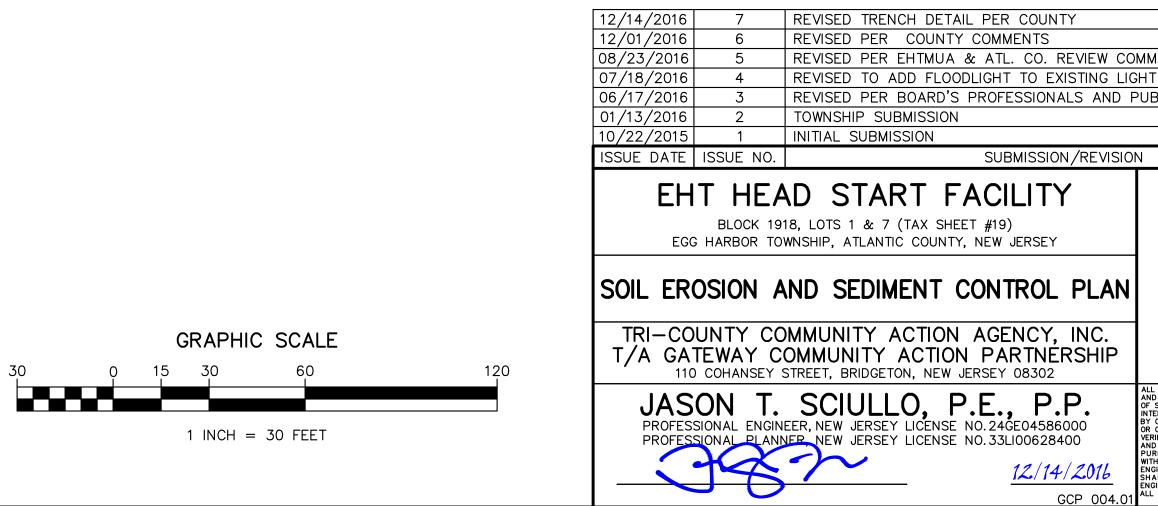
oo	TEMPORARY STANDARD SILT FE
	LIMIT OF DISTURBANCE
	SOILS LIMIT LINE
	TEMPORARY STABILIZED CONSTR
	TEMPORARY STOCKPILE AREA
SacA	SOILS DESIGNATION

SOILS DATA

0-5% SLOPE "A/D SOILS GROUP GALLOWAY LOAMY SAND GamB 0-2% SLOPE "A/D" SOILS GROUP MULLICA SANDY LOAM MumA SacB SASSAFRAS SANDY LOAM 0-2% SLOPE "B" SOILS GROUP ALL SOIL EROSION AND SEDIMENT CONTROL IMPLEMENTATION SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY THE CAPE ATLANTIC CONSERVATION DISTRICT.

LIMIT OF DISTURBANCE

TOTAL AREA OF PROPOSED DISTURBANCE = 0.90 AC.



3. SOIL EROSION AND SEDIMENT CONTROL IMPLEMENTATION SHALL BE IN ACCORDANCE WITH STANDARDS 6. NJSA 4:24-39, ET SEQ. REQUIRES THAT UPON PERMANENT SITE STABILIZATION AND COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL APPLY TO THE SOIL CONSERVATION DISTRICT FOR FINAL 7. SEE DRAWING NUMBER C1301 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS.

SILT FENCE/LIMIT OF DISTURBANCE

CONSTRUCTION ENTRANCE

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Engineering & Environmental Service	es.	
Atlantic City Office		
1616 Pacific Avenue, Suite 501, Atlantic City, ph (609) 437-2100 fax (609) 437-210		

ph (609) 437-2100 fax (609) 437-2101 Certificate of Authorization #24GA27995700

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LL DOCUMENTS PREPARED BY MARATHON ENGINEERING	SCALE	APPROVED
ND ENVIRONMENTAL SERVICES, INC. ARE INSTRUMENTS F SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT VTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE	1" = 30'	KAI
Y OWNER TO OTHERS ON EXTENSIONS OF THE PROJECT	DRAWN BY	SHEET
R ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN ERIFICATION OR ADAPTATION BY MARATHON ENGINEERING	LAT	7 OF 8
ND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC URPOSE INTENDED WILL BE OWNERS SOLE RISK AND	DRAW	NG NO.
ITHOUT LIABILITY OR LEGAL EXPOSURE TO MARATHON NGINEERING AND ENVIRONMENTAL SERVICES, INC. AND HALL INDEMNIFY AND HOLD HARMLESS MARATHON NGINEERING AND ENVIRONMENTAL SERVICES, INC. FROM LL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.	C12	201

GENERAL NOTES	
 ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR 	6. COLLECT ALL SILT AND SEDIMENT, PLACE BACK ON SITE.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED	7. ESTABLISH FINAL GRADING, PERMANENT VEGETATIVE COVER AND FINAL BAS ADD K5 SAND MATERIAL TO BASIN BOTTOM.
IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.	 8. LANDSCAPE AS NECESSARY. 9. CONSTRUCT FINAL PAVEMENT COURSE.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.	10. REMOVE SOIL CONSERVATION MEASURES.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE	TEMPORARY VEGETATION 1. TEMPORARY VEGETATIVE COVER: PRIOR TO HALTING CONSTRUCTION FOR PE
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS	THAN 30 DAYS AND DURING THE OFF SEASON, THE CONTRACTOR SHALL S TEMPORARY VEGETATIVE COVER ALL EXPOSED SOILS.
AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY	2. TEMPORARY VEGETATIVE COVER SHALL BE ACCOMPLISHED BY THE FOLLOWI AND MATERIALS:
SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR THE EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE,	A. SEEDBED PREPARATION – THE CONTRACTOR SHALL APPLY PULVERIZED LIMESTONE AT THE RATE OF 90 POUNDS PER 1000 SQUARE FEET. APP
MULCH NETTING OR LIQUID MULCH BINDER). 6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME,	FERTILIZER AT THE RATE OF 14 POUNDS PER 1000 SQUARE FEET. THE FERTILIZER SHALL THEN BE "WORKED" INTO THE SOIL TO A DEPTH OF SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT.
FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE CAPE-ATLANTIC CONSERVATION DISTRICT. 7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN	B. SEEDING – SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS, DURING APPLIED AT THE RATE OF 1 POUND PER 1000 SQUARE FEET OR 100 L OR WEEPING LOVEGRASS @ 5 LBS. PER ACRE DURING WARM SEASON F
COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.	C. MULCHING – THE CONTRACTOR SHALL MULCH ALL NEWLY SEEDED ARE, THE RATE OF 70 POUNDS PER 1000 SQUARE FEET. IT SHALL BE ANCH
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.	THE USE OF THE PEG AND TWINE METHOD. THE PEG AND TWINE METHO ANCHORING SHALL CONSIST OF DRIVING 8-10 INCH WOODEN PEGS TO INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAP
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.	DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
10. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.	D. SEEDING DATE – SEEDING DATES FOR TEMPORARY VEGETATION SHALL MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. IF S
11. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.	PLANTED WITHIN THESE DATES, THE CONTRACTOR SHALL STABILIZE WIT OR EQUIVALENT) AT A RATE OF 2 TONS PER ACRE AND ANCHORED AS ABOVE.
12. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN. 13. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.	PERMANENT VEGETATION
THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE FILTER FABRIC. (SEE DETAIL) THE WATER QUALITY BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.	1. PERMANENT VEGETATION: IMMEDIATELY FOLLOWING THE COMPLETION OF CO ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL STABILIZE WITH PERMANE COVER, ALL EXPOSED AND DISTURBED SOILS.
14. NJSA 4:24–39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT	2. PERMANENT VEGETATIVE COVER SHALL BE ACCOMPLISHED AS SPECIFIED BE A. TOPSOILING – THE CONTRACTOR SHALL PREPARE AREAS TO BE STABIL
MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.	PERMANENT VEGETATIVE COVER BY APPLYING TOPSOIL TO A UNIFORM I TOPSOIL SHALL BE FRIABLE AND LOAMY AND OF GOOD QUALITY.
15. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO ENSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.	B. SEEDBED PREPARATION – IMMEDIATELY FOLLOWING TOPSOILING, THE CO SHALL APPLY PULVERIZED DOLOMITIC LIMESTONE AT THE RATE OF 90 I 1,000 SQUARE FEET AND FERTILIZER (10–20–10) AT THE RATE OF 14
16. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.	1000 SQUARE FEET. THE LIME AND FERTILIZER SHALL THEN BE "WORKE SOIL TO A DEPTH OF 4" WITH DISC, SPRINGTOOTH HARROW OR OTHER EQUIPMENT.
17. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.	C. SEEDING – (#12) MIXTURE SEED. (SEE BELOW) IF SOD IS USED SEE S
18. THE CAPE ATLANTIC CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.	D. MULCHING – THE CONTRACTOR SHALL MULCH ALL NEWLY SEEDED ARE, THE RATE OF 90 TO 115 POUNDS PER 1,000 SQUARE FEET. IT SHALL THROUGH THE USE OF THE PEG AND TWINE METHOD. THE PEG AND TW
19. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.	MULCH ANCHORING SHALL CONSIST OF 8"-10" WOODEN PEGS TO WITHI SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRI' AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETC
20. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL PILE WITH STRAW MULCH FOR PROTECTION IF THE	BETWEEN PEGS IN A CRISS-CROSS SQUARE PATTERN. SECURE TWINE A PEG WITH TWO OR MORE TURNS.
SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.	E. SEEDING DATES — SEEDING DATES FOR PERMANENT VEGETATION SHALL BETWEEN MARCH 1 AND APRIL 30 OR BETWEEN AUGUST 15 AND NOVE SEED IS NOT PLANTED WITHIN THESE DATES, THE CONTRACTOR SHALL MULCH AS SPECIFIED ABOVE.
21. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CAPE ATLANTIC CONSERVATION DISTRICT.	#12 MIXTURELBS/ACRELBS/1000 S.F.REBEL EXEDIL FESCUE1172.67
THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. 22. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN	REBEL SENTRY TALL FESCUE1172.07JUBILEE TALL FESCUE1162.67
ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS SHALL BE IN CONTAIN IRON SULFIDES OR HAVE A pH OF 4 OR LESS.	8.016/1000SF SEEDING DATES 2/1 TO 4/30 AND 8/15 TO 11/30.
23. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).	IF HYDROSEEDING IS USED ALL SEEDING RATES SHALL BE INCREASED E SODDING IS USED SEE SOD SPECIFICATIONS.
24. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.	SOD (IF SOD IS USED THE FOLLOWING SPECIFICATION SHALL BE USED)
25. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.	1. CULTIVATED SOD IS PREFERRED OVER NATIVE SOD. SPECIFY "CERTIFIED SOI HIGH QUALITY CULTIVATED SOD.
26. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.	 SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASS SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS
27. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.	INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH). 4. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN
28. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMEN	WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPP OF THE STRIP. BROKEN PADS OR TORN OR UNEVEN ENDS WILL NOT BE AC
AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. 29. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE	5. FOR DROUGHTY SITES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGR PREFERRED OVER A STRAIGHT BLUEGRASS SOD.
30. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE	6. ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE H DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS.
INSTALLED, AS DIRECTED BY THE DISTRICT	I. SITE PREPARATION: A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTION
6260 OLD HARDING HIGHWAY MAYS LANDING, NJ 08330	FOR LIMING, FERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOUL ACCORDANCE WITH STANDARD FOR LAND GRADING, PAGE 4.11. IN THE SOIL EROSION CONTROL MANUAL.
(609) 625–3144 OR (609) 625–7000 EXT. 6154 FAX: (609) 625–7360 <u>WORK HOURS AND NOISE CONTROL</u>	B. INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES, SUCH A DITCHES, DIKES AND TERRACES, EROSION STOPS AND DESILTING BASING
1. CONSTRUCTION HOURS	STANDARDS 4.2 THROUGH 4.16 IN THE NEW JERSEY SOIL EROSION CON
A. MONDAY THRU FRIDAY: 7:00AM-6:00PM	A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS SUCH AS OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SA
B. SATURDAY: 8:00AM-4:30PMC. SUNDAY: NO WORK TO BE PERFORMED.	ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OF TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE T CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS I
D. THE HOURS STATED SHALL BE ADHERED TO UNLESS DUE TO WEATHER AND OR SCHEDULE CHANGES. THE CITY OF ABSECON SHALL BE NOTIFIED OF ALL TIME CHANGES.	POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. IN AI POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROC USED IN LIEU OF TOPDRESSING. APPLY LIMESTONE (EQUIVALENT TO 50
2. NOISE CONTROL EQUIPMENT TO BE UTILIZED SHALL BE STANDARD EARTH MOVING EQUIPMENT, CRANES, MIXERS, ETC. WHICH MEET STANDARDS ESTABLISHED BY STATE AND FEDERAL LAWS REGARDING THE AMOUNT OF NOISE PRODUCED.	CALCIUM PLUS MAGNESIUM OXIDES) AS FOLLOWS: <u>SOIL TEXTURE</u> CLAY,CLAY LOAM & HIGH ORGANIC SOIL 4
DETAILED CONSTRUCTION SEQUENCE 1. CONSTRUCT TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES.	SANDY LOAM, LOAM & SILT LOAM 3 LOAMY SAND, SAND 2
A. PLACE STABILIZED CONSTRUCTION ENTRANCE WHERE INDICATED ON PLAN.	B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL 4 INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQ
B. PLACE SILT FENCE AND INLET PROTECTION FOR EXISTING INLETS WHERE INDICATED ON PLAN.	FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERA CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FIRM SEEDBED IS P
2. CLEAR AND GRUB CONSTRUCTION AREA.	C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOO CONTACT AND REMOVE ALL OTHER DEBRIS SUCH AS WIRE, CABLE, TRE OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
A. PLACE TOPSOIL STOCKPILE AREAS WHERE INDICATED ON PLANS. B. EXCAVATE BASINS AND INSTALL FILTER FABRIC IN BOTTOM.	D. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL C AREA MUST BE RETILLED AND FIRMED AS ABOVE.
3. ROUGH GRADE ROAD BED AND BUILDING PADS	III. SOD PLACEMENT:
 INSTALL UNDERGROUND UTILITIES AND COMMENCE BUILDING CONSTRUCTION CONSTRUCT CURBING AND SUBBASE FOR PAVEMENT AREAS. 	A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEF USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE T
6. INSTALL TEMPORARY INLET PROTECTION.	DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL PRIOR TO LAYING THE SOD.
7. CONSTRUCT BASE PAVEMENT COURSE. EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY	B. PLACE SOD STRIPS WITH SNUG, EVEN JOINTS THAT ARE STAGGERED. O INVITE EROSION.
COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.	C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SO OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE DI ROOTS.

GRADING, PERMANENT VEGETATIVE COVER AND FINAL BASIN CLEAN-UP. TERIAL TO BASIN BOTTOM.

TATIVE COVER: PRIOR TO HALTING CONSTRUCTION FOR PERIODS LONGER ID DURING THE OFF SEASON, THE CONTRACTOR SHALL STABILIZE WITH TATIVE COVER ALL EXPOSED SOILS.

TATIVE COVER SHALL BE ACCOMPLISHED BY THE FOLLOWING METHODS

PARATION – THE CONTRACTOR SHALL APPLY PULVERIZED DOLOMITIC THE RATE OF 90 POUNDS PER 1000 SQUARE FEET. APPLY 10-20-10 THE RATE OF 14 POUNDS PER 1000 SQUARE FEET. THE LIME AND ALL THEN BE "WORKED" INTO THE SOIL TO A DEPTH OF 4" WITH A DISC, HARROW OR OTHER SUITABLE EQUIPMENT.

EDING SHALL CONSIST OF PERENNIAL RYEGRASS, DURING COOL SEASON E RATE OF 1 POUND PER 1000 SQUARE FEET OR 100 LBS. PER ACRE. OVEGRASS @ 5 LBS. PER ACRE DURING WARM SEASON PLANTING.

THE CONTRACTOR SHALL MULCH ALL NEWLY SEEDED AREAS WITH HAY, AT 70 POUNDS PER 1000 SQUARE FEET. IT SHALL BE ANCHORED THROUGH HE PEG AND TWINE METHOD. THE PEG AND TWINE METHOD OF MULCH ALL CONSIST OF DRIVING 8-10 INCH WOODEN PEGS TO WITHIN 2-3 SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY WINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN.

- SEEDING DATES FOR TEMPORARY VEGETATION SHALL OCCUR BETWEEN MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. IF SEED IS NOT IN THESE DATES, THE CONTRACTOR SHALL STABILIZE WITH (MULCH: HAY T) AT A RATE OF 2 TONS PER ACRE AND ANCHORED AS SPECIFIED

TATION: IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION SITE, THE CONTRACTOR SHALL STABILIZE WITH PERMANENT VEGETATIVE SED AND DISTURBED SOILS.

TATIVE COVER SHALL BE ACCOMPLISHED AS SPECIFIED BELOW:

THE CONTRACTOR SHALL PREPARE AREAS TO BE STABILIZED WITH EGETATIVE COVER BY APPLYING TOPSOIL TO A UNIFORM DEPTH OF 6". BE FRIABLE AND LOAMY AND OF GOOD QUALITY.

PARATION - IMMEDIATELY FOLLOWING TOPSOILING, THE CONTRACTOR PULVERIZED DOLOMITIC LIMESTONE AT THE RATE OF 90 POUNDS PER FEET AND FERTILIZER (10-20-10) AT THE RATE OF 14 POUNDS PER FEET. THE LIME AND FERTILIZER SHALL THEN BE "WORKED" INTO THE PTH OF 4" WITH DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE

12) MIXTURE SEED. (SEE BELOW) IF SOD IS USED SEE SOD SPECS.

HE CONTRACTOR SHALL MULCH ALL NEWLY SEEDED AREAS WITH HAY. AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET. IT SHALL BE ANCHORED USE OF THE PEG AND TWINE METHOD. THE PEG AND TWINE METHOD OF RING SHALL CONSIST OF 8"-10" WOODEN PEGS TO WITHIN 2"-3" OF THE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR IG MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE IN A CRISS-CROSS SQUARE PATTERN. SECURE TWINE AROUND EACH OR MORE TURNS.

- SEEDING DATES FOR PERMANENT VEGETATION SHALL OCCUR CH 1 AND APRIL 30 OR BETWEEN AUGUST 15 AND NOVEMBER 15. IF PLANTED WITHIN THESE DATES, THE CONTRACTOR SHALL STABILIZE WITH ECIFIED ABOVE.

	LBS/ACRE	<u>LBS/1000 S.F.</u>
	117	2.67
SCUE	117	2.67
	116	<u>2.67</u>
		8.016/1000SF

ING IS USED ALL SEEDING RATES SHALL BE INCREASED BY 25%. IF SED SEE SOD SPECIFICATIONS.

PREFERRED OVER NATIVE SOD. SPECIFY "CERTIFIED SOD", OR OTHER TIVATED SOD.

REE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES. UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 CUTTING. (EXCLUDES TOP GROWTH).

/IGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND PENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OKEN PADS OR TORN OR UNEVEN ENDS WILL NOT BE ACCEPTED.

TES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS STRAIGHT BLUEGRASS SOD.

, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, STALLED WITHIN A PERIOD OF 36 HOURS.

EDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT ERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN WITH STANDARD FOR LAND GRADING, PAGE 4.11. IN THE NEW JERSEY CONTROL MANUAL.

ED EROSION CONTROL PRACTICES AND FACILITIES, SUCH AS INTERCEPTOR AND TERRACES. EROSION STOPS AND DESILTING BASINS. SEE THROUGH 4.16 IN THE NEW JERSEY SOIL EROSION CONTROL MANUAL.

ONE AND FERTILIZER ACCORDING TO SOIL TESTS SUCH AS THOSE UTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL FEASIBLE ON SMALL OR VARIABLE SITES. OR WHERE TIMING IS ILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. IN ADDITION, 300 -0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE OF TOPDRESSING. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT MAGNESIUM OXIDES) AS FOLLOWS:

	TONS / ACRE	
H ORGANIC SOIL	4	
SILT LOAM	3	
	2	

FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE ING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. AGE UNTIL A REASONABLY UNIFORM, FIRM SEEDBED IS PREPARED.

THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO SOIL REMOVE ALL OTHER DEBRIS SUCH AS WIRE, CABLE, TREE ROOTS, PIECES CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.

JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE RETILLED AND FIRMED AS ABOVE.

HOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE ERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DDS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY ING THE SOD.

TRIPS WITH SNUG, EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES

SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE Y IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE DRYING OF THE

- D. ON SLOPES GREATER THAN 3:1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8" TO 10" LONG BY 3/4" WIDE).
- E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE O THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERL SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE BE USED TO ANCHOR SOD IN WATER- CARRYING CHANNELS AND OTHER CRITICAL
- AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK. F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE
- PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS. IV. TOPDRESSING:

IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED II ADDITION TO SUGGESTED FERTILIZER, THEN A FOLLOW-UP OF TOPDRESSING IS NOT MANDATORY.

A. A. FALL INSTALLATION OF SOD WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH 10-20-10 OR EQUIVALENT AT 400 POUNDS PER ACRE OR 10 POUNDS PER 1000 SQUARE FEET BETWEEN SEPTEMBER 1 AND OCTOBER 15.

DUST CONTROL:

0.101

DUST CONTROL SHALL BE ACCOMPLISHED BY THE METHODS DESCRIBED BELOW.

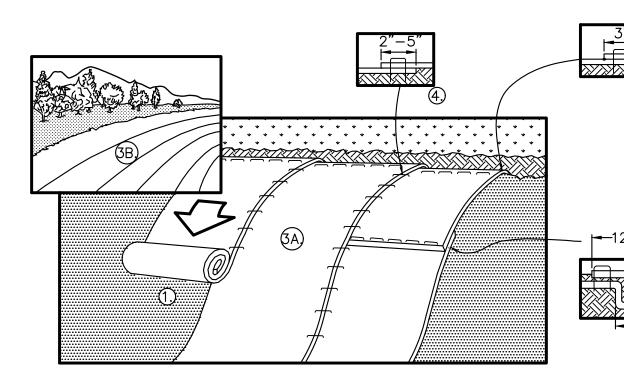
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12,5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) – SPRAY ON POLYACRYLAMIDE (PAM) – DRY SPREAD	APPLY ACCORDING TO MANUFACTURER'S INSTRUCT MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT TO FLOCCULATE AND PRECIPITATE SUSPENDED COL SEE SEDIMENT BASIN STANDARD, P. 26-1		O SEDIMENT E PENDED COLLO
ACIDULATED SOY BEAN SOAP	NONE	COARSE SPRAY	1200

TILLAGE: TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORAT EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOW ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS PLACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESI EFFECT.

SPRINKLING: SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS: SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES (HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING CALCIUM CHLORIDE: SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLO THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS. OR ACCUMULATION AR PLANTS.

STONE: COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS. INCLUDING ANY NECESSARY APPL LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLO PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/S APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND C TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAIN PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANK COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY ACROSS THE WIDTH OF THE BLANKET.
- 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANK BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN AF LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORE CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMEN THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVER AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.

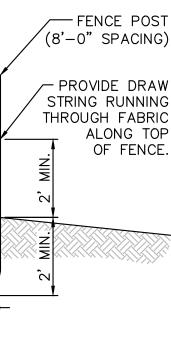
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAT BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

	SLOPE BLANKET INSTALLATION DETAIL
	N.T.S.
	SILT FENCE SILT FENCE
	3 (MAX.) 1
- 19/	
NO	EXISTING GROUND
1.	TOPSOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE.
2.	STOCKPILE SHALL RECEIVE TEMPORARY VEGETATIVE STABILIZATION IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMEN CONTROL IN NEW JERSEY IMMEDIATELY AFTER COMPLETION OF STOCK
3.	STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY FEET OF A FLOODPLAIN, SLOPES, ROADWAY, OR DRAINAGE FACILITY.

TOPSOIL STOCKPILE DETAIL

N.T.S.

	PUBLIC CARTWAY		
DF _Y CAN H AS	EXISTING GROUND FILTER FABRIC MIRAFI TOOX OR EQUAL ASTM C-33 #2 (2 1/2" TO 1 1/2") OR #3 (2" TO 1") USE CLEAN CRUSHED ANGULAR STONE. EXISTING CROUND EXISTING CROUND EXISTING COURSE TRANSITION MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDI WILL PREVENT TRACKING OR FLOWING OF SEDIMENT RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOF WITH ADDITIONAL STONE OR ADDITIONAL LENGTH A DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-W REMOVED IMMEDIATELY.	r ONTO PUBLIC N.T.S. P DRESSING S CONDITIONS ' MEASURES DROPPED,	(8'-0 PRC STRIN THROU NIW 2 NIW 2 ETAIL
	STABILIZED CONSTRUCT	ON	
AC NS. ASINS DS. NRY WING IRED OF S. OPES, OUND	N.T.S. N.T.S. NILET FILTER INSTALLAT WIRE SUPPORT - MOLD S/5 GA. 49 #100 SQ. N WELED WIRE SUPPORT. EXTENDED 6" MIN. AT S SECURE FILTER FABBIC 6" MIN. SECURE FILTER FABBIC 6" MIN. NOTES: 1. CONTRACTOR IS TO CLEAN INLET FIL AFTER EVERY STORM. 2. CONTRACTOR IS TO CLEAN INLET FIL MILET FILTER NILET FILTER MILET FILTER NILET FILTER NILET FILTER NILET FILTER NILET FILTER NILET FILTER	RATE 6"x6", FT. SIDES TO LATION	
2 -6 -6 -6 -7 -6 -7 -6 -7 -6 -7 -6 -7 -6 -7 -6 -7 -7 -7 -7 -7 -7 -7 -7 -7 -7	A" VERTICAL FACE BALE WDTH BALE WDTH	AND COMPACT THE SOL 	
IAN O MAT	N.T.S.	2/14/2016 7 REVISED TRENCH DETAIL PER COUNTY	
ILE.	1 0 0 0 1	2/01/2016 6 REVISED PER COUNTY COMMENTS 8/23/2016 5 REVISED PER EHTMUA & ATL. CO. REVIEW COMMEN 17/18/2016 4 REVISED PER BOARD'S PROFESSIONALS AND PUBLIC 16/17/2016 3 REVISED PER BOARD'S PROFESSIONALS AND PUBLIC 11/13/2016 2 TOWNSHIP SUBMISSION 0/22/2015 1 INITIAL SUBMISSION 0/22/2015 1 INITIAL SUBMISSION SSUE DATE ISSUE NO. SUBMISSION/REVISION EHT HEAD START FACILITY BLOCK 1918, LOTS 1 & 7 (TAX SHEET #19) EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS TRI-COUNTY COMMUNITY ACTION AGENCY, INC. T/A GATEWAY COMMUNITY ACTION PARTNERSHIP 110 COHANSEY STREET, BRIDGETON, NEW JERSEY 08302 JASON T. SCIULLO, P.E., P.P. PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 240E04586000 PROFESSIONAL PLANNER NEW JERSEY LICENSE NO. 33LI00628400 12/14/2016	OLE



LAT | KAI LAT KAL MJF KAI MENTS POLE MJF I KAI LAT KAI BLIC HEARING COMMENTS LAT KAI CWH TEI BY APPR. MARATHON Engineering & Environmental Services Atlantic City Office

1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401 ph (609) 437-2100 fax (609) 437-2101

Certificate of Authorization #24GA27995700		
LL DOCUMENTS PREPARED BY MARATHON ENGINEERING IND ENVIRONMENTAL SERVICES, INC. ARE INSTRUMENTS F SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT ITENDED OR REPRESENTED TO BE SUITABLE FOR REUSE	SCALE	APPROVED
Y OWNER TO OTHERS ON EXTENSIONS OF THE PROJECT R ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN ERIFICATION OR ADAPTATION BY MARATHON ENGINEERING	DRAWN BY	sheet 8 OF 8
ND ENVIRONMENTAL SERVICES, INC. FOR THE SPECIFIC URPOSE INTENDED WILL BE OWNERS SOLE RISK AND ITHOUT LIABILITY OR LEGAL EXPOSURE TO MARATHON NGINEERING AND ENVIRONMENTAL SERVICES, INC. AND HALL INDEMNIFY AND HOLD HARMLESS MARATHON NGINEERING AND ENVIRONMENTAL SERVICES, INC. FROM LL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTION THEFFERDM		