

EHT HEAD START FACILITY

BLOCK 1918, LOTS 1 & 7

EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY

PRELIMINARY & FINAL SITE PLANS



AERIAL MAP
SCALE: 1" = 200'



SITE PHOTO
FACING SOUTH

APPLICANT:

TRI-COUNTY COMMUNITY ACTION AGENCY, INC. T/A GATEWAY COMMUNITY ACTION PARTNERSHIP

110 COHANSEY STREET
BRIDGETON, NEW JERSEY 08302



MARATHON

Engineering & Environmental Services

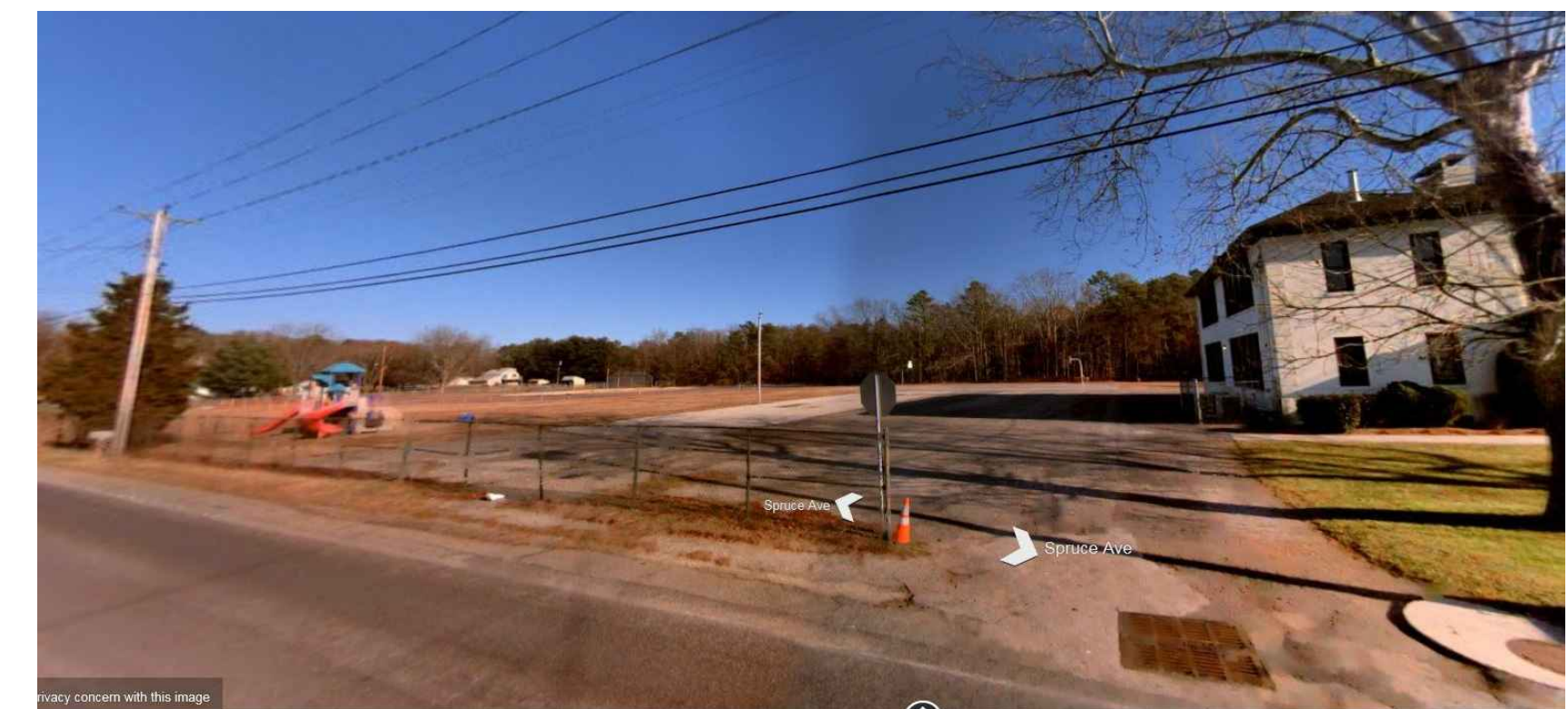
553 Beckett Road, Suite 608, Swedesboro, NJ 08085
1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401

OWNER
COUNTY OF ATLANTIC
1333 ATLANTIC AVENUE
ATLANTIC CITY, NEW JERSEY 08401
(609) 345-6700

APPLICANT
TRI-COUNTY COMMUNITY ACTION AGENCY, INC.
T/A GATEWAY COMMUNITY ACTION PARTNERSHIP
110 COHANSEY STREET
BRIDGETON, NEW JERSEY 08302
(856) 451-6330

APPLICANT INTENT

THE APPLICANT IS SEEKING PRELIMINARY AND FINAL SITE PLAN APPROVAL FOR THE CONSTRUCTION OF 5,472 SQUARE FEET MODULAR BUILDING FOR A NEW PRESCHOOL AND ASSOCIATED PARKING LOT WITH BUS DROP-OFF AREA. THE SITE IS BOUND BY JEFFERSON AVENUE TO THE NORTH AND SPRUCE AVENUE TO THE WEST. THE PROJECT WILL BE DEVELOPED UNDER THE REQUIREMENTS SET FORTH BY THE TOWNSHIP OF EGG HARBOR, CAPE ATLANTIC CONSERVATION DISTRICT, AND THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR APPLICABLE PERMITS.



SPRUCE AVENUE FRONTAGE

CERTIFICATION OF APPROVALS

I HEREBY CERTIFY THAT THIS SITE PLAN HAS BEEN APPROVED BY RESOLUTION _____ OF THE TOWNSHIP OF EGG HARBOR PLANNING BOARD.

CHAIRPERSON _____ DATE _____
SECRETARY _____ DATE _____
TOWNSHIP ENGINEER _____ DATE _____
MUNICIPAL CLERK _____ DATE _____

SHEET INDEX

SHEET NO.	DWG. NO.	SHEET TITLE
1 OF 8	C0001	COVER SHEET
2 OF 8	C0002	INFORMATION SHEET
3 OF 8	C0101	SITE AND LANDSCAPE PLAN
4 OF 8	C0201	GRADING AND UTILITY PLAN
5 OF 8	C2801	SPRUCE AVENUE PLAN & PROFILE
6 OF 8	C1101	SITE IMPROVEMENT DETAIL SHEET
7 OF 8	C1201	SOIL EROSION AND SEDIMENT CONTROL PLAN
8 OF 8	C1301	SOIL EROSION AND SEDIMENT CONTROL NARRATIVE AND DETAIL SHEET

ATLANTIC COUNTY APPROVALS

OFFICE OF POLICY, PLANNING & ECONOMIC DEVELOPMENT			
<input type="checkbox"/> SUBDIVISION REVIEW			
<input type="checkbox"/> SITE PLAN REVIEW			
DATE RECEIVED	FINDINGS COUNTY ROAD OR DRAINAGE FACILITIES AFFECTED YES <input type="checkbox"/> NO <input type="checkbox"/>	FILE NO.	
COUNTY PLANNING BOARD	FINDINGS <input type="checkbox"/> APPROVED <input type="checkbox"/> DISAPPROVED <input type="checkbox"/> FAVORABLE <input type="checkbox"/> UNFAVORABLE <input type="checkbox"/> RECOMMENDATIONS	DATE OF ACTION	SIGNATURE

ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.
01/26/2017	8	REVISED PAVEMENT RESTORATION LIMITS PER COUNTY	LAT	KAI
12/14/2016	7	REVISED TRENCH DETAIL PER COUNTY	LAT	KAI
12/01/2016	6	REVISED PER COUNTY COMMENTS	LAT	KAI
08/23/2016	5	REVISED PER EHTMUA & ATL. CO. REVIEW COMMENTS	MJF	KAI
07/18/2016	4	REVISED TO ADD FLOODLIGHT TO EXISTING LIGHT POLE	MJF	KAI
06/17/2016	3	REVISED PER BOARD'S PROFESSIONALS AND PUBLIC HEARING COMMENTS	LAT	KAI
03/13/2016	2	TOWNSHIP SUBMISSION	LAT	KAI
10/22/2015	1	INITIAL SUBMISSION	CWH	TEH

EHT HEAD START FACILITY

BLOCK 1918, LOTS 1 & 7 (TAX SHEET #19)
EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY

COVER SHEET

TRI-COUNTY COMMUNITY ACTION AGENCY, INC.
T/A GATEWAY COMMUNITY ACTION PARTNERSHIP
110 COHANSEY STREET, BRIDGETON, NEW JERSEY 08302

JASON T. SCIULLO, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 240604586000
PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 331006526400

[Signature] 01/26/2017
GCP 004.01

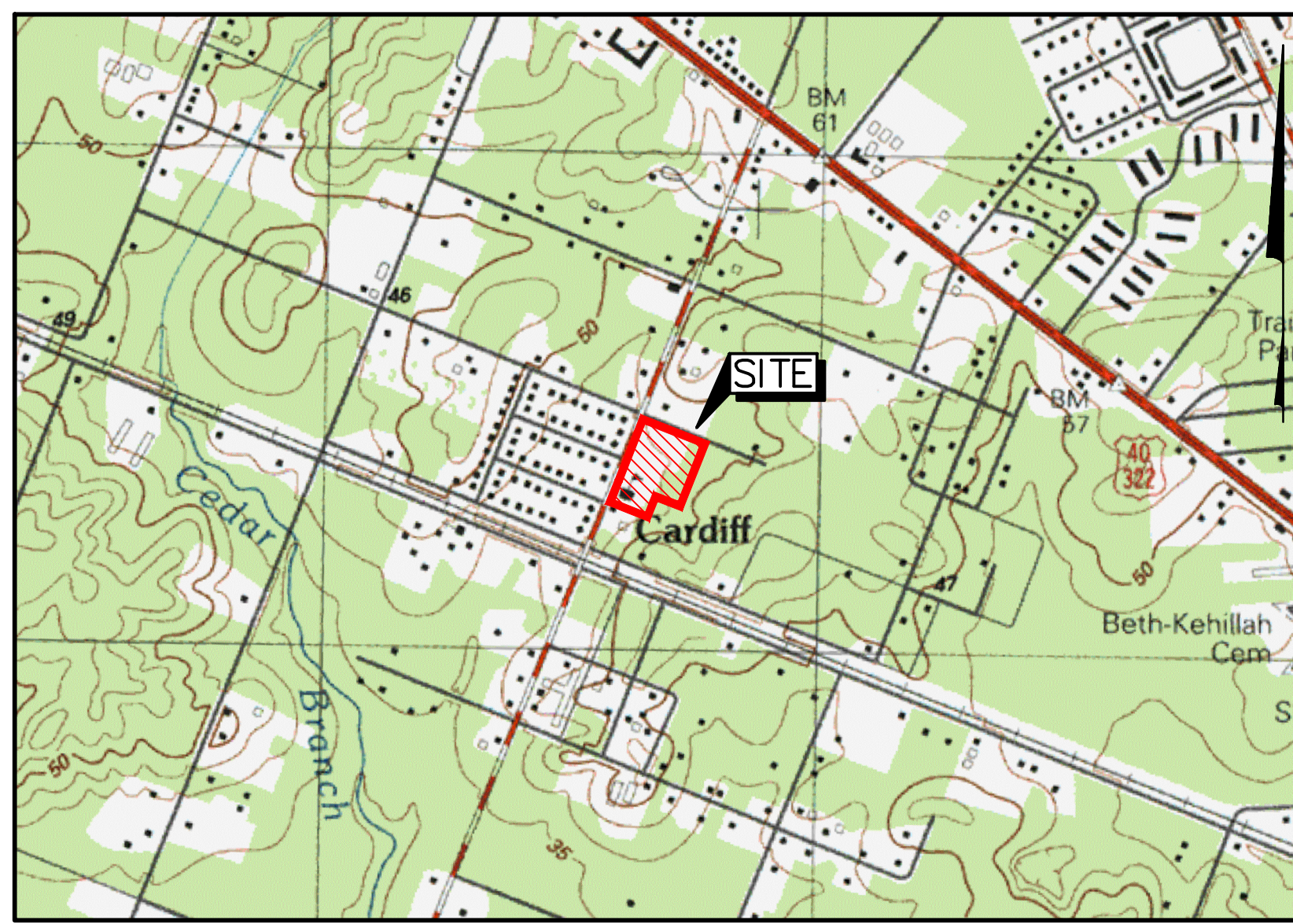


Atlantic City Office
1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401
ph (609) 437-2100 fax (609) 437-2101
Certificate of Authorization #24GAZ7995700

ALL DOCUMENTS PREPARED BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES ARE THE PROPERTY OF MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. AND SHALL REMAIN THE PROPERTY OF MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. IF ANY DISCREPANCY OR ERROR IS FOUND IN ANY OF THESE DOCUMENTS, THE USER SHALL INDICATE AND HOLD MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING FROM THE USE OF THESE DOCUMENTS.

SCALE AS SHOWN
APPROVED BY C. HARRIS
DATE 1 OF 8
DRAWING NO. C0001

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.



U.S.G.S. PLEASANTVILLE QUAD SHEET LOCATION MAP

SCALE: 1" = 1,000'

PROJECT NOTES

A. GENERAL SITE NOTES

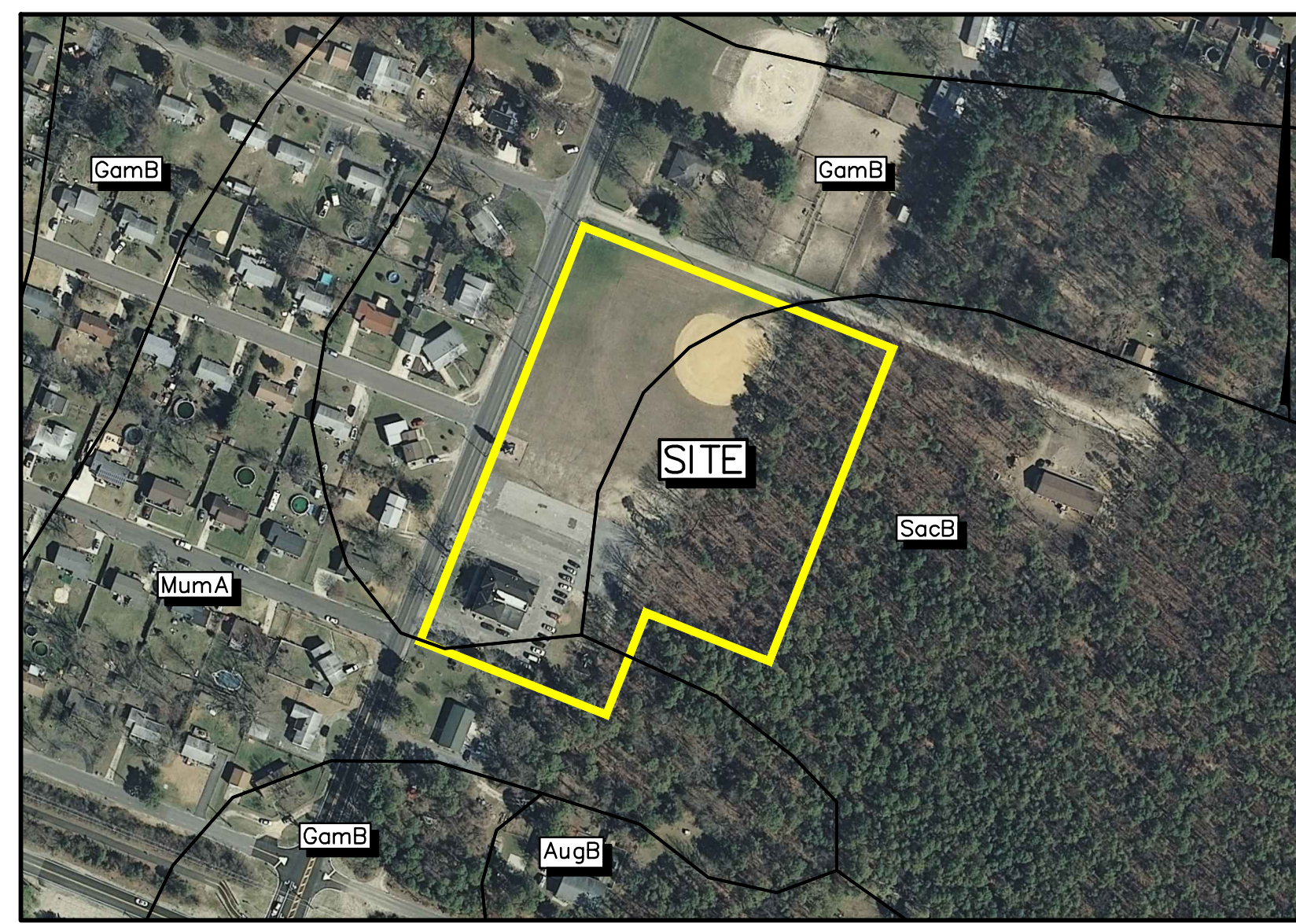
- 1. TRACT FOR DEVELOPMENT CONSISTS OF BLOCK 1918, LOTS 1 & 7 OF THE OFFICIAL TAX MAP OF EGG HARBOR TOWNSHIP.
2. TRACT FOR DEVELOPMENT IS ZONED RG-2 (RESIDENTIAL) AS INDICATED ON THE OFFICIAL ZONING MAP OF EGG HARBOR TOWNSHIP.
3. TOTAL AREA OF TRACT = 5.38 ACRES OF LAND.
4. THE SITE SHALL COMPLY WITH THE CURRENT RECYCLING PROGRAM IN EFFECT IN EGG HARBOR TOWNSHIP. PICK UP DAYS WILL BE PER THE CURRENT EGG HARBOR TOWNSHIP SCHEDULING.
5. GRADING AROUND BUILDING AND FINISHED FLOOR ELEVATIONS ARE SUBJECT TO CHANGE UPON REVIEW OF CONSTRUCTION PLANS OF PROPOSED BUILDINGS UNITS.
6. ALL BARRIER FREE DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST A.D.A. AND N.J.D.O.T. STANDARDS.
7. ANY VARIATIONS FROM THE PLANS MUST BE AUTHORIZED BY THE DESIGN ENGINEER AND APPROVED BY THE TOWNSHIP ENGINEER.
8. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL EACH PLAN HAS BEEN HAD REVISD TO INDICATE "ISSUED FOR CONSTRUCTION".
9. CONSTRUCTION DETAILS/SHOP DRAWINGS UTILIZED BY THE CONTRACTOR SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP ENGINEER.
10. REFER TO COMPLETE SET OF PLANS FOR ADDITIONAL INFORMATION.
11. THIS SET OF DRAWINGS AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR THE USE ONLY BY THE PARTY FOR WHOM THE WORK IS CONTRACTED OR WHOM IT IS CERTIFIED. THIS SET OF DRAWINGS MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC.
12. ANY DEMOLITION MATERIAL SHALL BE PROPERLY DISPOSED OF AND NO ON-SITE BURIAL IS PERMITTED.
13. THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN A STREET OPENING/ACCESS PERMIT FROM ATLANTIC COUNTY PRIOR TO THE START OF CONSTRUCTION.
14. PRIOR TO ANY WORK BEING PERFORMED WITHIN SPRUCE AVENUE, COUNTY ROUTE 684, THE EGG HARBOR TOWNSHIP POLICE DEPARTMENT SHALL BE CONTACTED REGARDING PROVISIONS FOR ANY TRAFFIC CONTROL MEASURES THAT MAY BE NEEDED DURING CONSTRUCTION. A CERTIFICATE OF FILING WAS ISSUED FOR THIS PROJECT ON DECEMBER 4, 2015, FILE NO. 2015-0140.001.
15. THE PROPOSED IMPROVEMENTS WILL DISTURB 5,547 S.F. OF LAND. THE PROPOSED MODULAR BUILDING WILL BE SET ON CONCRETE & BLOCK PIERS. VEHICULAR ACCESS TO THE SITE WILL REMAIN THE SAME AND UTILIZE THE TWO (2) EXISTING TWO-WAY ENTRANCES. NO MODIFICATIONS ARE PROPOSED TO THE EXISTING ENTRANCE DRIVES. THE PROPOSED CIRCULATION AISLE WITHIN THE PROPOSED PAINTED STALL AREA WILL BE TWO-WAY.
16. THE PROPERTY IS LOCATED OUTSIDE THE 100 YEAR AND 500 YEAR FLOODPLAINS AS INDICATED ON FEMA'S FLOOD INSURANCE RATE MAP #34001C0312F, WITH A PRELIMINARY DATE OF MAY 20, 2014.

B. SURVEY NOTES

- 1. BOUNDARY, TOPOGRAPHICAL, AND EXISTING CONDITIONS INFORMATION TAKEN FROM PLAN ENTITLED "TOPOGRAPHIC BOUNDARY SURVEY; BLOCK 1918, LOTS 1 & 7, EGG HARBOR TOWNSHIP, COUNTY OF ATLANTIC, STATE OF NEW JERSEY" BY DUFFY, DOLY, McMANUS & ROESCH, PROJECT NUMBER 9825, DATED NOVEMBER 14, 2014, UNREVISED.
2. HORIZONTAL DATUM REFERS TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83).
3. VERTICAL DATUM REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

C. CONTRACTOR/OWNER RESPONSIBILITY NOTES

- 1. THE CONTRACTOR/OWNER SHALL DESIGNATE A PERSON THAT IS KNOWLEDGEABLE OF CONSTRUCTION SAFETY STANDARDS AND IS EXPECTED TO BE AT THE CONSTRUCTION SITE ON A REGULAR BASIS. THIS PERSON SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION, DISCHARGE, AND MONITORING OF SAFETY STANDARDS AND PRACTICES AT THE SITE. THE CONTRACTOR/OWNER SHALL PROVIDE DESIGN ENGINEER WITH NAME, ADDRESS AND TELEPHONE NUMBER OF DESIGNEE. IN LIEU OF THIS INFORMATION, THE REPRESENTATIVE PERSON FROM THE CONTRACTOR'S ORGANIZATION WHO SIGNED THE CONTRACT SHALL HEREBY BE RESPONSIBLE FOR THIS FUNCTION.
2. CONTRACTOR SHALL SCHEDULE ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT O.S.H.A. STANDARDS.
3. SITE CONTRACTOR IS TO VERIFY WITH DESIGN ENGINEER ON WHAT PERMITS AND APPROVALS ARE PENDING OR HAVE BEEN APPROVED.
4. SITE CONTRACTOR IS TO VERIFY AND MATCH HORIZONTAL AND VERTICAL ELEVATIONS.
5. CONTRACTOR SHALL PERFORM ALL WORK IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND MANUFACTURERS' RECOMMENDATIONS AND STANDARDS.
6. ALL DIMENSIONS AND EXISTING CONDITIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
7. UNDERGROUND UTILITIES LOCATIONS ARE APPROXIMATE AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION.
8. THE CONTRACTOR SHALL VERIFY IN FIELD ALL CONDITIONS AS SHOWN ON THE PLANS AND SHALL BE RESPONSIBLE FOR FIELD MEASUREMENTS FOR ALL NEW CONSTRUCTION. REFER TO ARCHITECTURAL DRAWINGS FOR ANY INFORMATION NOT SHOWN HERE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, UNDERPINNING AND STRUCTURAL STABILITY DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL CALL 1-800-272-1000 FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
11. IN THE EVENT CONDITIONS AT THE SITE ARE NOTICEABLY DIFFERENT (AT THE TIME OF CONSTRUCTION) FROM THE DOCUMENTS PROVIDED, THE CONTRACTOR AND/OR OWNER SHALL NOTIFY THE DESIGN ENGINEER.
12. THE PROPOSED SITE GRADING DEPICTED IN THESE PLANS IS INTENDED TO PROVIDE A GENERAL GUIDE FOR GRADING. THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR OWNER SHALL INSTRUCT THE CONCRETE CONTRACTOR TO TAKE CARE SETTING FORMS FOR PEDESTRIAN AREAS TO INSURE THAT THEY CONFORM TO THE NEW JERSEY BARRIER FREE SUBCODE.
13. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS OF APPROVAL IMPOSED BY ALL REGULATORY AGENCIES HAVING JURISDICTION AS IT RELATES TO THE CONSTRUCTION AND MAINTENANCE OF THE IMPROVEMENTS.
14. CONTRACTOR DAMAGE TO ANY EXISTING FEATURE SUCH AS, BUT NOT LIMITED TO, CONCRETE CURBS, CONCRETE WALKS, PAVING, LIGHTS, PLANTERS, SIGNS, UTILITIES OR BUILDINGS NOT SCHEDULED FOR REMOVAL SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR.
15. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (F) (OSHA COMPETENT PERSON).



N.R.C.S. U.S. DEPARTMENT OF AGRICULTURE SOILS MAP

SCALE: 1" = 200'

1. ROADWAY & SIGNAGE NOTES

- 1. ALL CONSTRUCTION UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED.
2. ALL ROADWAY DESIGN AND CONSTRUCTION FOR MUNICIPAL ROADS SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY EGG HARBOR TOWNSHIP AND THE NEW JERSEY RSIS STANDARDS.
3. ALL ROADWAY DESIGN AND CONSTRUCTION WITHIN THE LEGAL R.O.W. LIMITS OF COUNTY ROUTE 684 SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY ATLANTIC COUNTY.
4. ALL TRAFFIC SIGN PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED. ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY SIGN POSTS AS DETAILED AND APPROVED BY NUDOT.
5. THE APPLICANT SHALL NOTIFY THE TOWNSHIP ENGINEER A MINIMUM OF 24 HOURS PRIOR TO THE START OF ANY ROAD CONSTRUCTION.
6. ALL ROADWAY SUBGRADES SHALL BE TESTED IN ACCORDANCE WITH THE ORDINANCE. ANY DEFICIENCIES SHALL BE CORRECTED TO THE SATISFACTION OF THE TOWNSHIP ENGINEER.
7. MATERIAL PLACED AS FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, STONE (>6" DIAMETER), FROZEN SOIL AND OTHER OBJECTIONABLE MATERIALS.

E. UTILITY NOTES

- 1. GAS, ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND THROUGHOUT THE DEVELOPMENT IN ACCORDANCE WITH REGULATIONS OF THE LOCAL UTILITY COMPANIES AND EGG HARBOR TOWNSHIP.
2. ALL MATERIALS, METHODS AND DETAILS OF IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE REGULATIONS OF EGG HARBOR TOWNSHIP, ATLANTIC COUNTY AND/OR THE APPROPRIATE UTILITY COMPANY, WHICHEVER REGULATION TAKES PRECEDENCE.
3. WHERE IT IS NECESSARY TO CONNECT TO EXISTING UTILITIES WITHIN EXISTING ROADWAYS, THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAW CUTTING, FOR WATER AND SEWER SERVICE, TRENCHING, BACKFILL, COMPACTION AND PAVING SHALL BE IN ACCORDANCE WITH EGG HARBOR TOWNSHIP AND ATLANTIC COUNTY SPECIFICATIONS, AS APPLICABLE.
4. BEDDING AND BACKFILL FOR THE REINFORCED CONCRETE PIPE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
5. PIPE LENGTHS AND GRADIENTS ARE CALCULATED TO THE CENTERLINE OF STRUCTURES. ACTUAL PIPE LENGTH MAY BE LESS THAN CALCULATED LENGTH, AND SHOULD BE COMPUTED BY CONTRACTOR PRIOR TO CONSTRUCTION.
6. EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN IS FURNISHED BY THE UTILITY COMPANIES OR SURVEY PLAN BY SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF OWNER AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

F. DRAINAGE NOTE

THE PROPOSED IMPERVIOUS IMPROVEMENTS INCLUDE THE ADDITION OF 405 S.F. OF CONCRETE PADS/TIMBER ACCESS STRUCTURES AND A 4,140 S.F. PORTION OF THE MODULAR BUILDING TO BE INSTALLED OVER THE EXISTING LAWN AREA, FOR A TOTAL INCREASE OF 4,545 SF. THE REMAINING IMPROVEMENTS ARE LOCATED ATOP EXISTING PAVEMENT. IN ACCORDANCE WITH THE PINELANDS COMPREHENSIVE MANAGEMENT PLAN, NO STORMWATER MANAGEMENT FACILITIES ARE REQUIRED TO BE PROVIDED. THE PROPOSED IMPROVEMENTS WILL NOT ALTER THE EXISTING DRAINAGE PATTERNS.

G. WATER AND SEWER NOTES

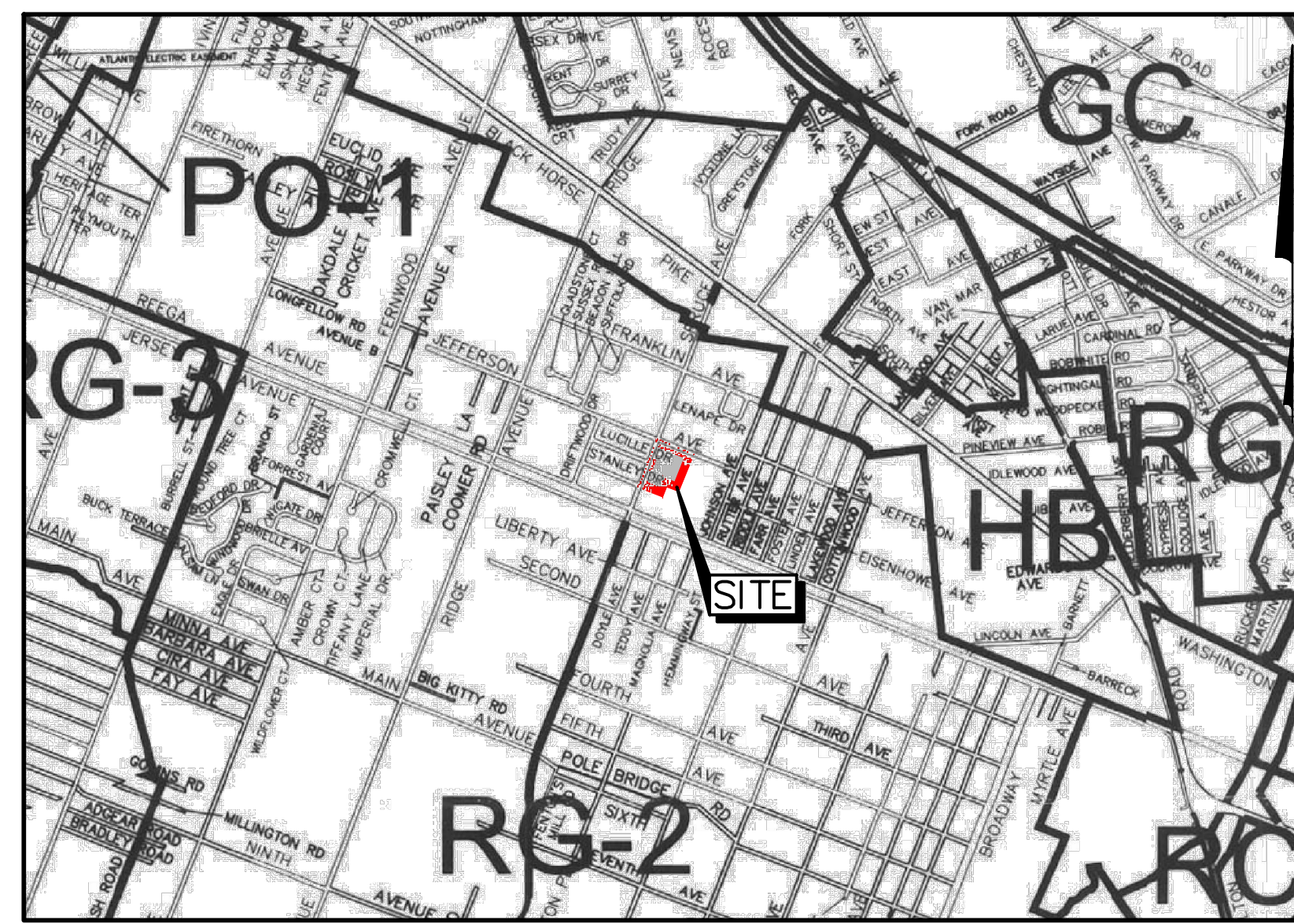
- 1. APPLICANT PROPOSES A ± 84 L.F. WATER LATERAL TO CONNECT TO THE EXISTING MAIN LOCATED IN SPRUCE AVENUE. ALL REQUIRED LOCAL AND COUNTY APPROVALS WILL BE PROCURED.
2. APPLICANT PROPOSES A ± 74 L.F. 6" SCHEDULE 40 PVC SEWER LATERAL TO CONNECT TO THE EXISTING MAIN LOCATED IN SPRUCE AVENUE. ALL REQUIRED PERMITS FROM NEW JERSEY AMERICAN WATER COMPANY WILL BE PROCURED.

SOILS DATA

Table with 4 columns: Soil Type, Description, Slope, and Soil Group. Includes entries for Gamb, MumA, SocB, and AugB.

SOILS DATA OBTAINED FROM THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY FOR ATLANTIC COUNTY. THE PROPOSED IMPROVEMENTS WILL BE LOCATED PRIMARILY OVER GALLOWAY SANDY LOAM AND A SMALL PORTION OVER SASSAFRAS SANDY LOAM.

SOIL SURVEY LIMITATIONS
GambB - SMALL COMMERCIAL BUILDINGS - VERY LIMITED
SocB - SMALL COMMERCIAL BUILDINGS - NOT LIMITED
GambB - DWELLINGS WITHOUT BASEMENTS - VERY LIMITED
SocB - DWELLINGS WITHOUT BASEMENTS - NOT LIMITED
GambB - FREQUENCY OF FLOODING - NONE
SocB - FREQUENCY OF FLOODING - NONE



OFFICIAL ZONING MAP OF EGG HARBOR TOWNSHIP

SCALE: 1" = 2,000'

ZONING SCHEDULE

Zoning Schedule table with columns: Ordinance Section, Zone, Permitted or Required, Existing Conditions, Conformity Status, Proposed Improvements, and Conformity Status. Includes sections for residential use, parking setbacks, and accessory structures.

ZONING SCHEDULE NOTES

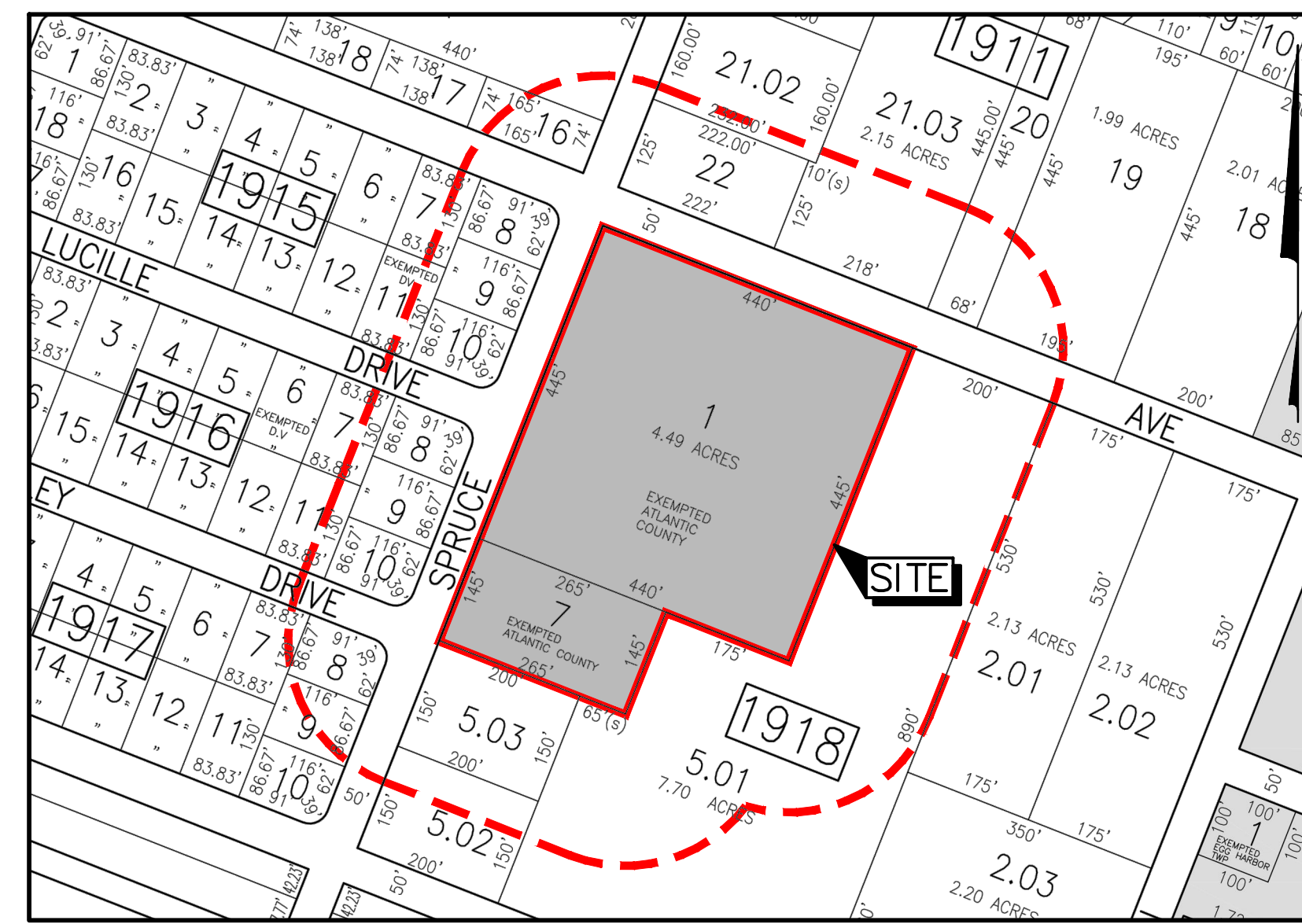
- 1. MINIMUM PARKING REQUIREMENTS:
ELEMENTARY SCHOOL: TWO PER CLASSROOM, BUT NOT FEWER THAN ONE PER TEACHER AND STAFF.
PROPOSED: 5 CLASSROOMS, 6 STAFF MEMBERS
REQUIRED PARKING = 5 CLASSROOMS X 2 SPACES = 10 SPACES
PROVIDED NEW PARKING = 12 SPACES

CHECKLIST WAIVER REQUEST LIST

Checklist Waiver Request List table with columns: Checklist Item, Relief Requested, and Description. Lists items like map scale, lighting details, and traffic reports.

UTILITIES

- ATLANTIC CITY ELECTRIC
5100 HARDING HIGHWAY #399
MAYS LANDING, NJ 08330-9902
EGG HARBOR TOWNSHIP
EILEEN TEDESCO, TOWNSHIP CLERK
3515 BARGAIN TOWN ROAD,
EGG HARBOR TWP, NJ 08234
EGG HARBOR TOWNSHIP MUNICIPAL UTILITIES AUTHORITY
NATE DAVIS, CHAIRMAN
3515 BARGAIN TOWN ROAD,
EGG HARBOR TWP, NJ 08234
GARDEN STATE PARKWAY AUTHORITY
WOODBRIDGE, NJ 07095
WEST JERSEY & SEASHORE RAILROAD
15 NORTH 32ND STREET
PHILADELPHIA, PA 19104
ATLANTIC CITY INTERNATIONAL AIRPORT
ATTN: SHARON GORDON
AC INTERNATIONAL AIRPORT SUITE 106
EGG HARBOR TWP, NJ 08234
177H FIGHTER WING ATLANTIC CITY
COLONEL RANDALL KING
400 LANGLEY BLVD
EGG HARBOR TWP, NJ 08234
COUNTY ROADS, ATLANTIC COUNTY PLANNING BOARD
P.O. BOX 719
NORTHFIELD, NJ 08225-0719



OFFICIAL TAX MAP OF EGG HARBOR TOWNSHIP

SCALE: 1" = 200'

EGG HARBOR TOWNSHIP CERTIFIED OWNER'S LIST WITHIN 200'

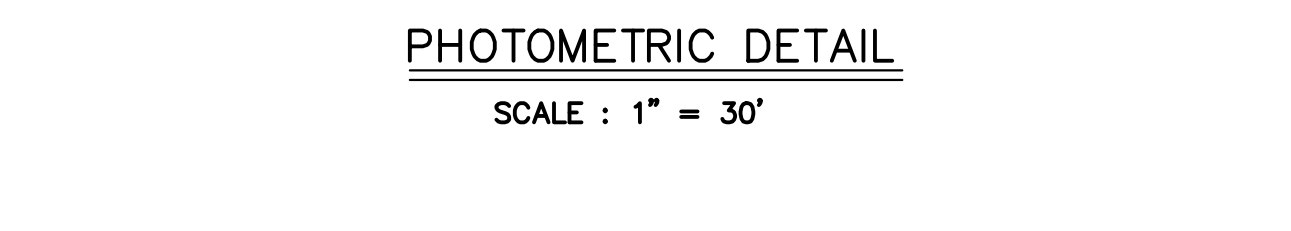
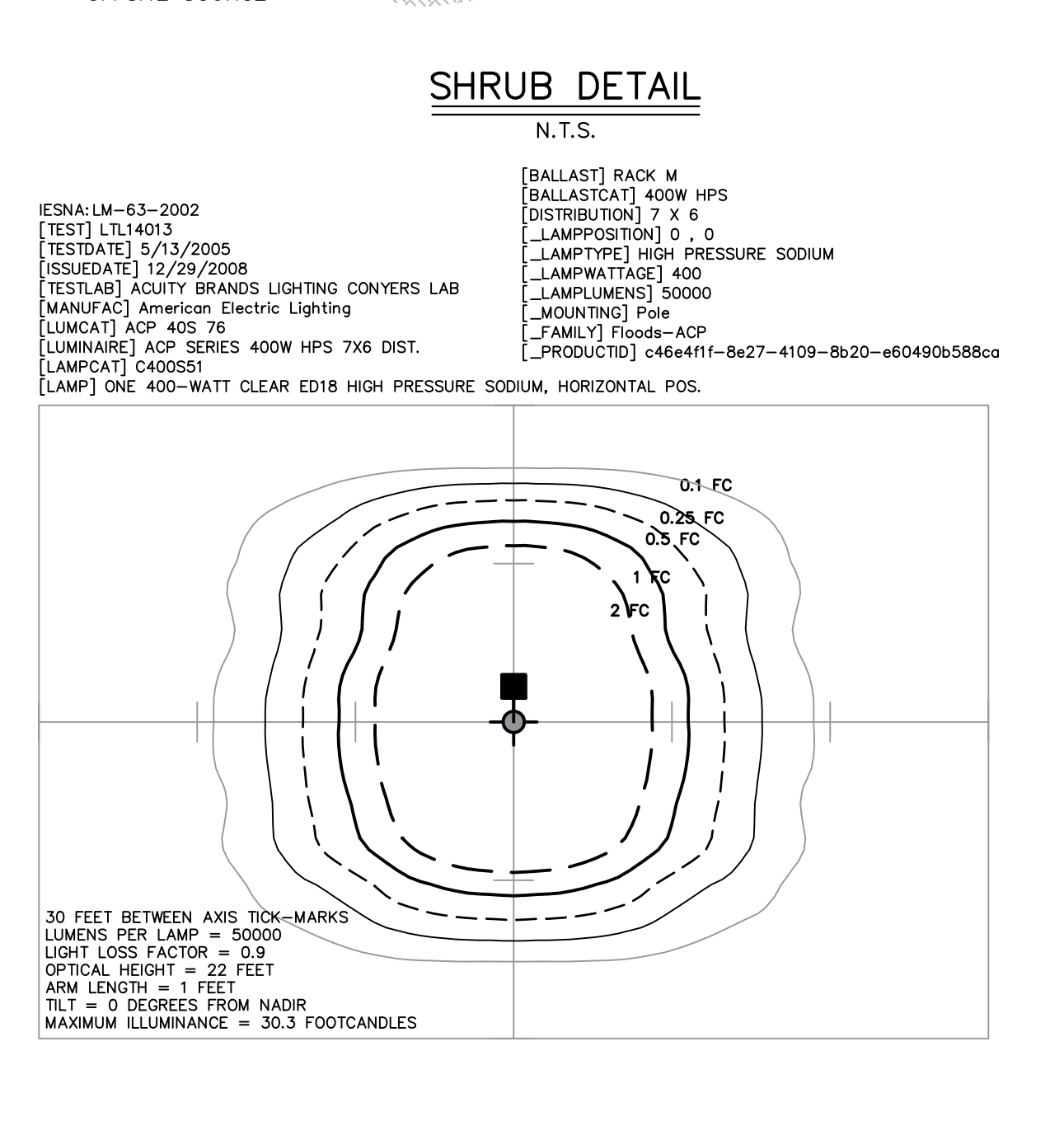
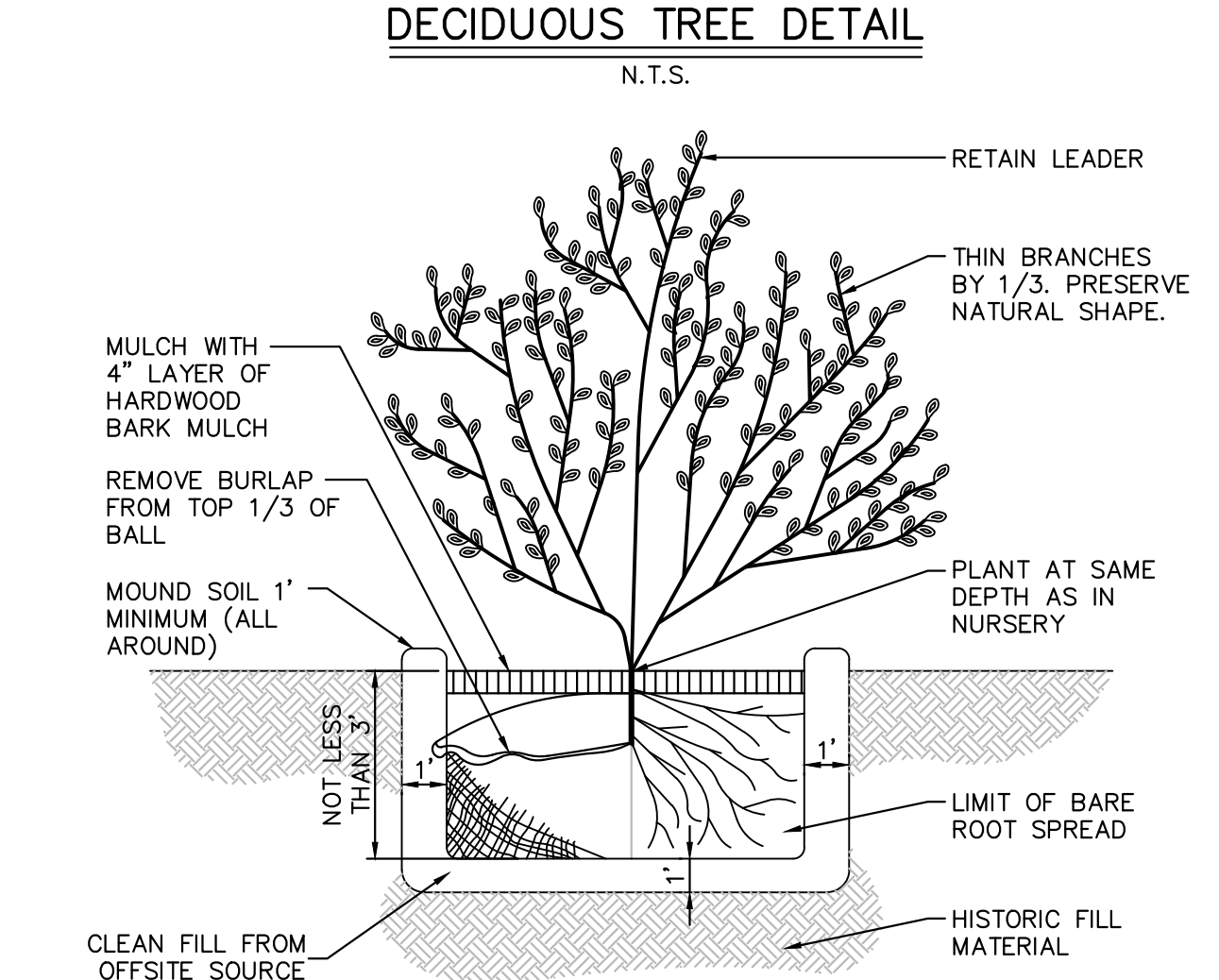
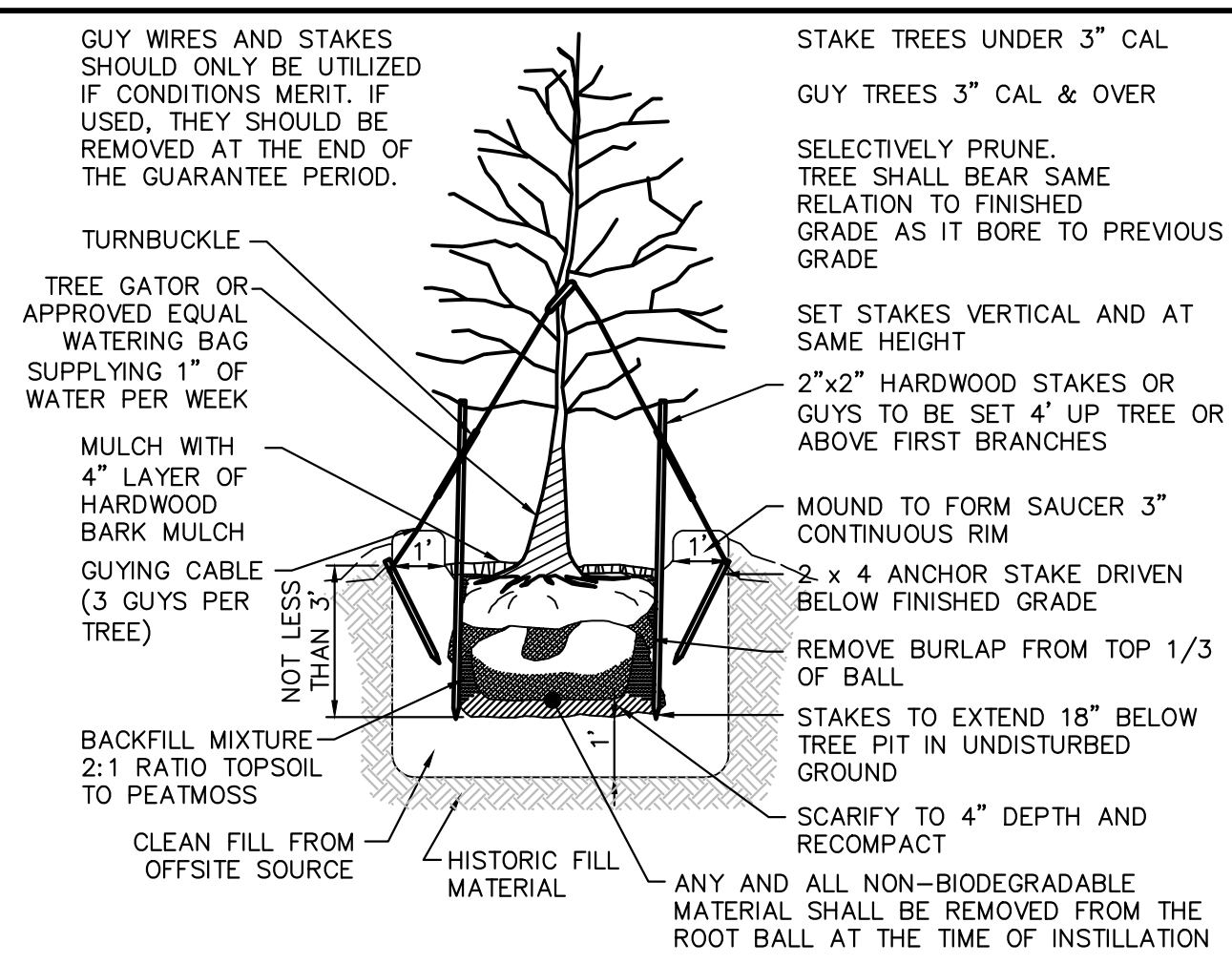
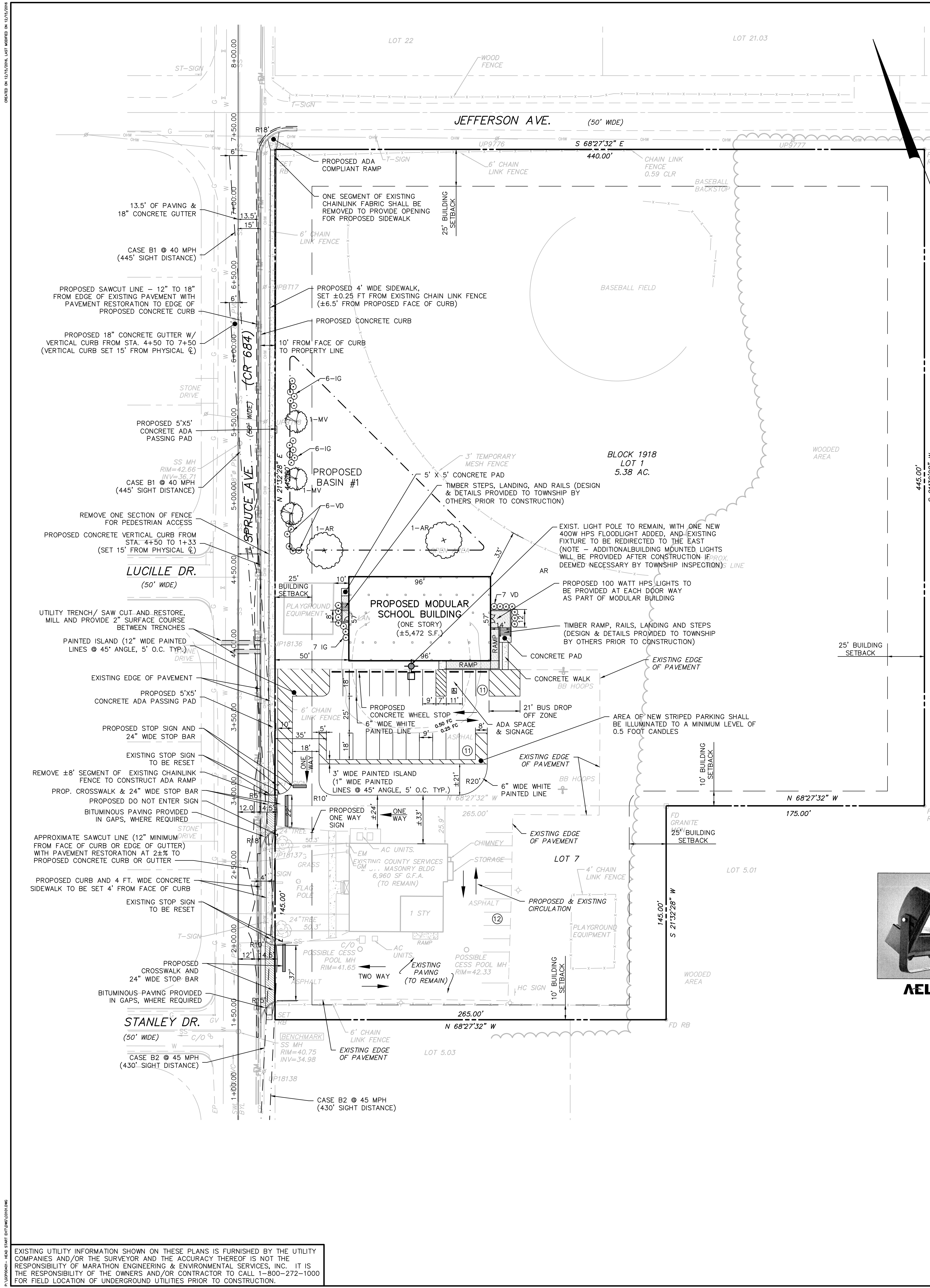
LIST DATED: SEPTEMBER 9, 2015

Table with columns: Block, Lot, Class, Property Location, and Owner. Lists property owners and their addresses within 200 feet of the site.

Table with columns: Issue Date, Issue No., Description, and By/Approver. Lists revision history for the project.

EHT HEAD START FACILITY INFORMATION SHEET. Includes project details, contact information for Marathon Engineering & Environmental Services, and a signature block for Jason T. Sciallo, P.E., P.P.

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.



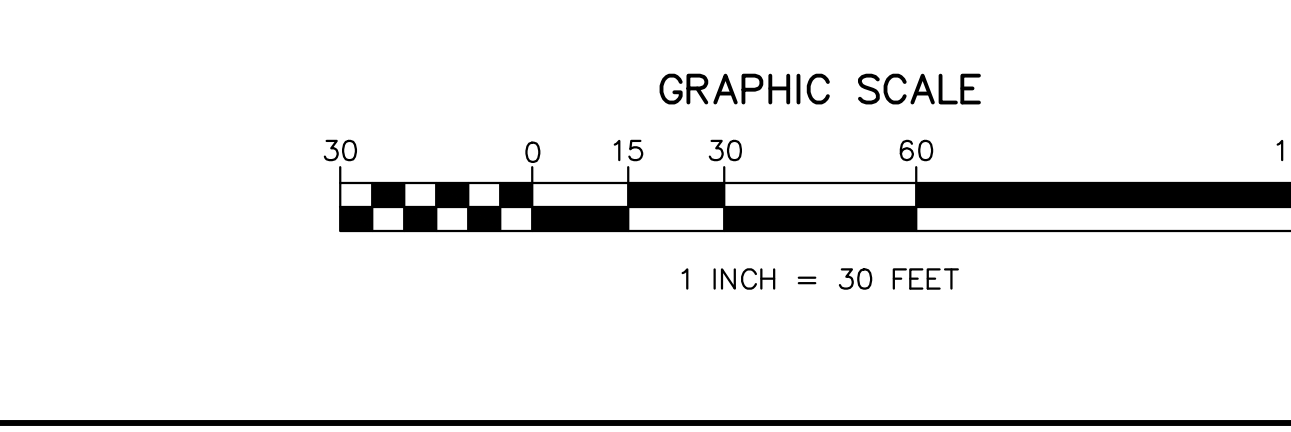
Features:
 NEMA beam patterns available in a variety of options
 Rugged die-cast aluminum housing is powder-coated for durability and corrosion resistance
 Stainless steel external hardware standard
 Door is hinged and easily removable for quick maintenance
 Fully painted powder coated enclosure is standard, tenon and galvanized yoke mounting options are available for precise aiming
 UL listing is standard @ 40°C ambient
 For easy maintenance, tool-less entry is available
 Standardized hardware for single-tool internal maintenance
 Suitable for -40°C to 40°C HPS / -30°C to 40°C MH
 Lens is thermal shock and impact resistant tempered flat glass
 Approved for use in 1.5 G vibration applications
 Slipfitter adjustable to fit 2-3/8" to 2-7/8" O.D. tenon

LUMINAIRE DETAIL
 NOT TO SCALE

LUMINAIRE SCHEDULE

SYMBOL	QTY	DESCRIPTION
1	1	ACP LIGHT SERIES MANUFACTURED BY AMERICAN ELECTRIC LIGHTING - ACP (AMERICAN COMPACT SERIES) - 400 WATT HIGH PRESSURE SODIUM - 7H x 6V BEAM PATTERN - 22 FT MOUNTING HEIGHT - DARK BRONZE PAINT COLOR - VOLTAGE/BALLAST/ AND MOUNTING TO BE DETERMINED BY CONTRACTOR AND/OR ELECTRICIAN PRIOR TO ORDERING

LIGHTING TO BE INSTALLED ON PROPOSED BUILDING STRUCTURE OVER MAN DOORS AND ONE NEW FLOODLIGHT ADDED TO EXISTING POLE



ZONING SCHEDULE

ORDINANCE SECTION	ZONE RQ-2 RESIDENTIAL	PERMITTED OR REQUIRED	EXISTING CONDITIONS	CONFORMITY STATUS	PROPOSED IMPROVEMENTS	CONFORMITY STATUS
\$225-45.D(4)	USE	PUBLIC AND PRIVATE SCHOOLS	SCHOOL & BASEBALL FIELD	CONFORMS	MODULAR BUILDING	CONFORMS
\$225-45.D(4) VIA	MINIMUM LOT SIZE	1 AC.	234,225 S.F.	CONFORMS	234,225 S.F.	CONFORMS
\$225-45.D(2)(c)	MINIMUM LOT WIDTH	100 L.F.	440 L.F.	CONFORMS	440 L.F.	CONFORMS
\$225-45.D(2)(b)	MINIMUM REQUIRED YARD DEPTHS					
PRINCIPAL STRUCTURE						
\$225-45.D(1)	MINIMUM FRONT YARD SETBACK	25 L.F.	50.3 L.F.	CONFORMS	50 L.F.	CONFORMS
\$225-45.D(1)	MINIMUM REAR YARD SETBACK	25 L.F.	144.4 L.F.	CONFORMS	294 L.F.	CONFORMS
\$225-45.D(1)	MINIMUM SIDE YARD SETBACK	10 L.F.	60.0 L.F.	CONFORMS	224 L.F.	CONFORMS
\$225-45.D(1)	MAXIMUM BUILDING HEIGHT	30 FT.	2 STORIES	CONFORMS	≤ 30 FT.	CONFORMS
ACCESSORY STRUCTURE						
\$225-45.D(1)	MINIMUM REAR YARD SETBACK	10 L.F.	N/A	CONFORMS	N/A	CONFORMS
\$225-45.D(1)	MINIMUM SIDE YARD SETBACK	10 L.F.	N/A	CONFORMS	N/A	CONFORMS
\$225-45.D(1)	MAXIMUM BUILDING HEIGHT	15 FT.	N/A	CONFORMS	N/A	CONFORMS
\$225-45.D(1)	MAXIMUM IMPERVIOUS COVERAGE	35%	±16.4%	CONFORMS	±18.4%	CONFORMS
\$225-56.A (35)(a)	MINIMUM PARKING REQUIREMENTS	10 SPACES (SEE NOTE 1)	12 SPACES	CONFORMS	12 SPACES (SEE NOTE 1)	CONFORMS
\$225-45.D(4)	FROM COUNTY R.O.W.	35'	5'	EXISTING NON CONFORMING	35'	CONFORMS
\$225-46.D(2)(b)	FROM RESIDENTIAL ZONE	25'	>25'	CONFORMS	>25'	CONFORMS
\$225-46.D(2)(b)	FROM MUNICIPAL R.O.W.	20'	N/A	N/A	N/A	N/A
\$225-46.D(2)(b)	FROM CROSS EASEMENT	0'	N/A	N/A	N/A	N/A

ZONING SCHEDULE NOTES

- MINIMUM PARKING REQUIREMENTS:
 ELEMENTARY SCHOOL: TWO PER CLASSROOM, BUT NOT FEWER THAN ONE PER TEACHER AND STAFF.
 PROPOSED: 5 CLASSROOMS, 6 STAFF MEMBERS
 REQUIRED PARKING = 5 CLASSROOMS X 2 SPACES = 10 SPACES
 PROVIDED NEW PARKING = 12 SPACES

PLANTING NOTES

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIAL, PLANTS, EQUIPMENT, INCIDENTALS AND CLEAN UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENTS.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY-FOLIATED VIGOROUS ROOT SYSTEM AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL DRAINAGE CONDITION CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FOR TREES AND A MINIMUM OF ONE (1) GROWING SEASON FOR SHRUBS. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANT SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar as it is practical, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THIRTY (30) DAY PERIOD AFTER DELIVERY.
- QUALITY AND SIZE OF PLANTS, SPREAD ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANS Z80 (REV. 1980) AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED TO TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, ETC. SHALL BE USED FOR PLANTING.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK AND BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE CONDUCTED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO (2) FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT AND AT SUCH LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND'S SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3" OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES MUST NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE WITH CLEAN SHARP TOOLS. CUTS OVER 3/4" IN DIAMETER SHALL BE PAINTED WITH SUITABLE TREE DRESSING.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED ON THE PLANS AND DETAILS.
- DRAWINGS TO BE SCALED FOR PURPOSES OF LOCATING SOIL BERMS, PLANT MATERIAL, PLANTING BEDS, GROUND COVER AREAS AND OTHER SITE AMENITIES SHOWN. DRAWINGS ARE DIAGRAMMATIC. PLANT MATERIAL IS SUBJECT TO FIELD ADJUSTMENT.
- ALL PLANT MATERIAL TO BE SET IN PREPARED MULCHED BEDS. FINAL BED LINES TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE.
- ALL PLANTING BEDS TO RECEIVE 4" OF HARDWOOD BARK MULCH AS INDICATED ON THE PLANTING DETAILS. FINAL LOCATION OF PLANT MATERIAL TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION ACTIVITIES.
- NO DECIDUOUS SHADE TREES WILL BE LOCATED CLOSER THAN 10 FEET TO ANY SUBSURFACE DISPOSAL SYSTEM OR STORM SEWER PIPE. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATIONS OF ALL PLANTED MATERIAL QUANTITIES. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. PLAN HOLDS PRECEDENCE.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH APPROPRIATE TOWNSHIP AGENCIES AND UTILITIES COMPANIES.

PLANTING SCHEDULE

SHADE & ORNAMENTAL TREES

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AR	2	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	10' - 12', 2" - 2.5" Cal.	B & B
MV	3	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	6' - 8'	B & B or #10 CAN
SUBTOTAL = 2					
SHRUBS					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
IG	19	ILEX GLABRA 'NIGRA'	NIGRA INKBERRY	24" - 30"	#3 CAN (4" O.C.)
VD	13	VIBURNUM DENTATUM 'SYNNESTVEDT'	CHICAGO LUSTRE VIBURNUM	24" - 30"	#3 CAN (4" O.C.)
SUBTOTAL = 32					

NOTES

- IN THE EVENT OF DISCREPANCIES BETWEEN THE QUANTITIES OF PLANTS INDICATED ON THE PLAN SCALE AND THOSE GRAPHICALLY DEPICTED ON THE PLANS, THE PLANT QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
- NO PLANT MATERIAL SUBSTITUTION SHALL BE ACCEPTED WITHOUT WRITTEN PERMISSION FROM THE TOWNSHIP ENGINEER.

DATE	ISSUE NO.	DESCRIPTION	BY	APPR.
12/14/2016	7	REVISED TRENCH DETAIL PER COUNTY		KAI
12/01/2016	6	REVISED PER COUNTY COMMENTS		LAT
08/23/2016	5	REVISED PER EHTMUA & ATL. CO. REVIEW COMMENTS		MJF
07/18/2016	4	REVISED TO ADD FLOODLIGHT TO EXISTING LIGHT POLE		MJF
06/17/2016	3	REVISED PER BOARD'S PROFESSIONALS AND PUBLIC HEARING COMMENTS		LAT
01/13/2016	2	TOWNSHIP SUBMISSION		KAI
10/22/2015	1	INITIAL SUBMISSION		CWH
ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.

EHT HEAD START FACILITY
 BLOCK 1918, LOTS 1 & 7 (TAX SHEET #19)
 EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY

SITE AND LANDSCAPE PLAN

TRI-COUNTY COMMUNITY ACTION AGENCY, INC.
 T/A GAWANEY COMMUNITY ACTION PARTNERSHIP
 110 COWANEY STREET, BRIDGE TON, NEW JERSEY 08302

JASON T. SCIULLO, P.E., P.P.
 PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 32404595000
 PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 33106264000

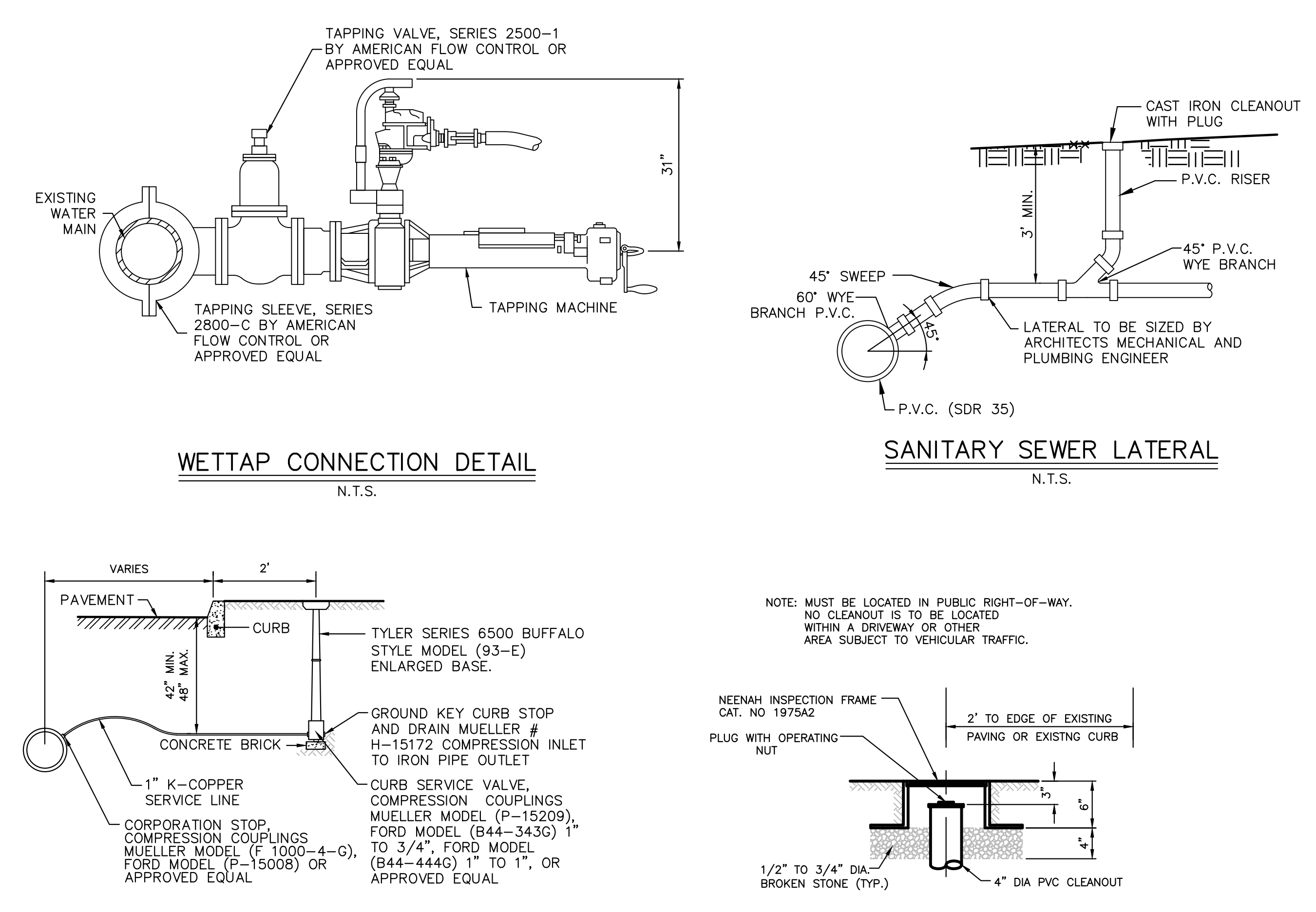
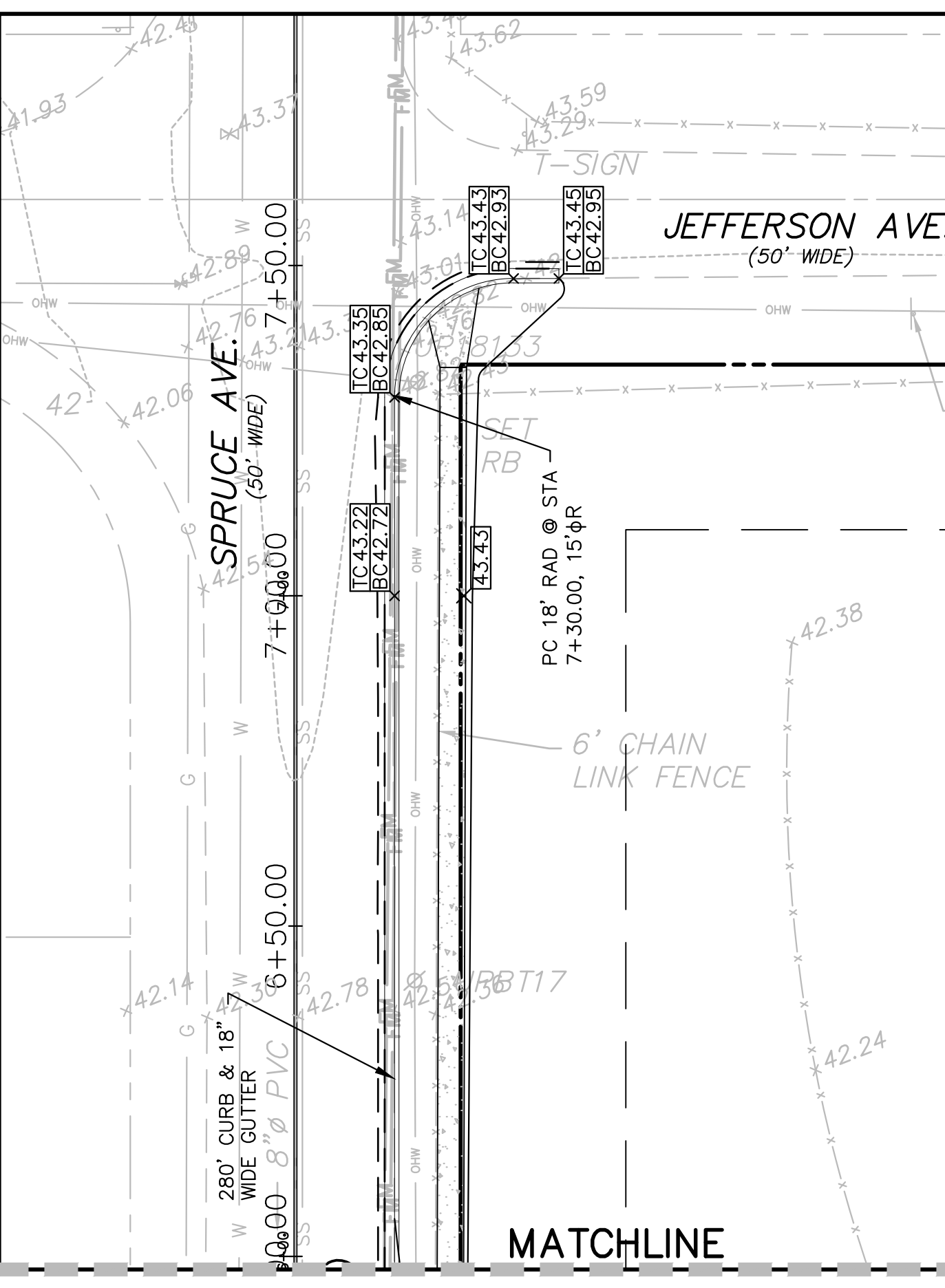
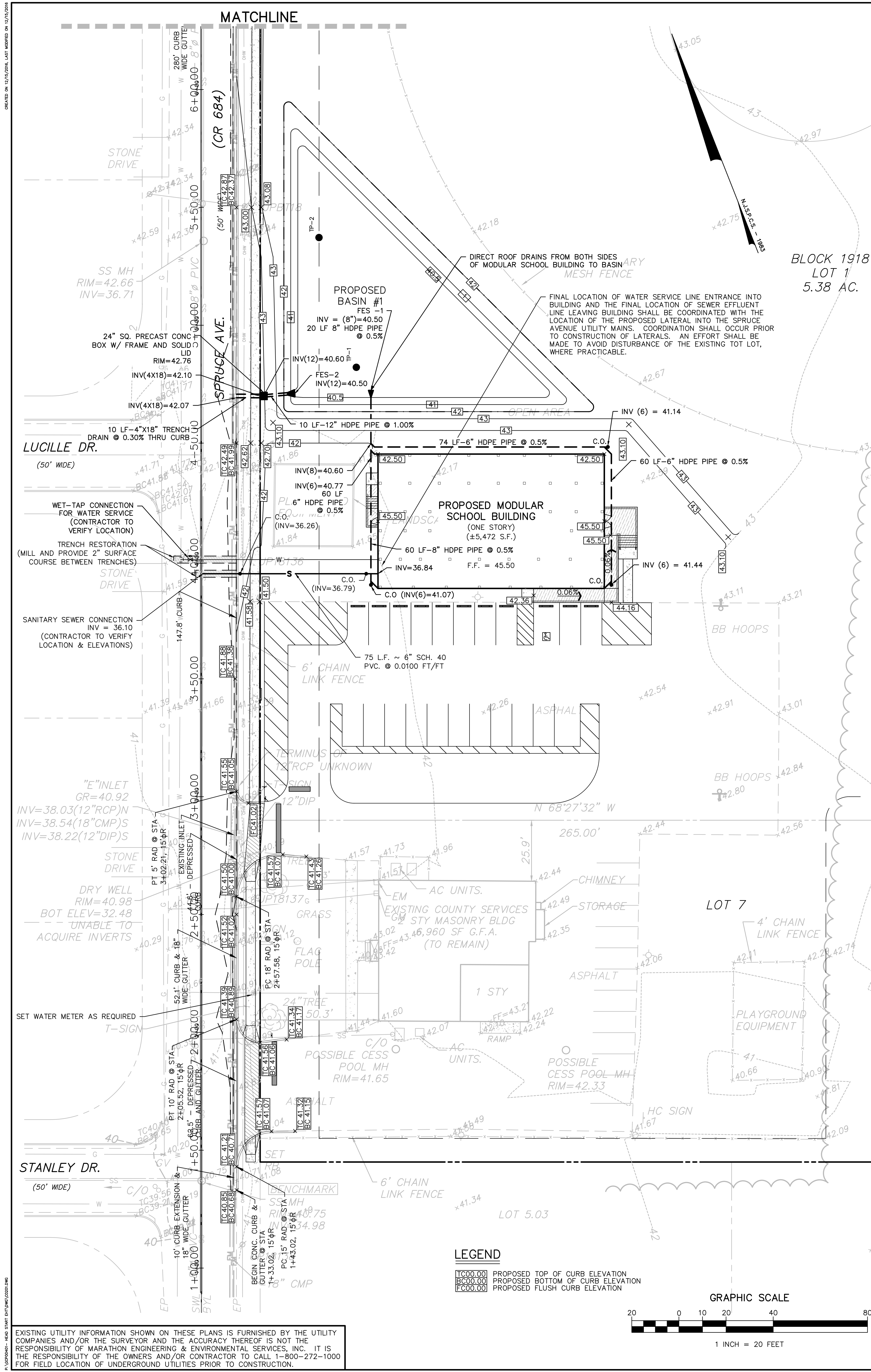
12/14/2016
 GCP 004.0

MARATHON
 Engineering & Environmental Services
 Atlantic City Office
 1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401
 ph (609) 437-2100 fax (609) 437-2101
 Certificate of Authorization #24GA27955700

SCALE: 1" = 30'
 SHEET 3 OF 8
 DRAWN BY: C. HARRIS
 CHECKED BY: T. H. HARRIS
 APPROVED BY: T. H. HARRIS

C0101

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.



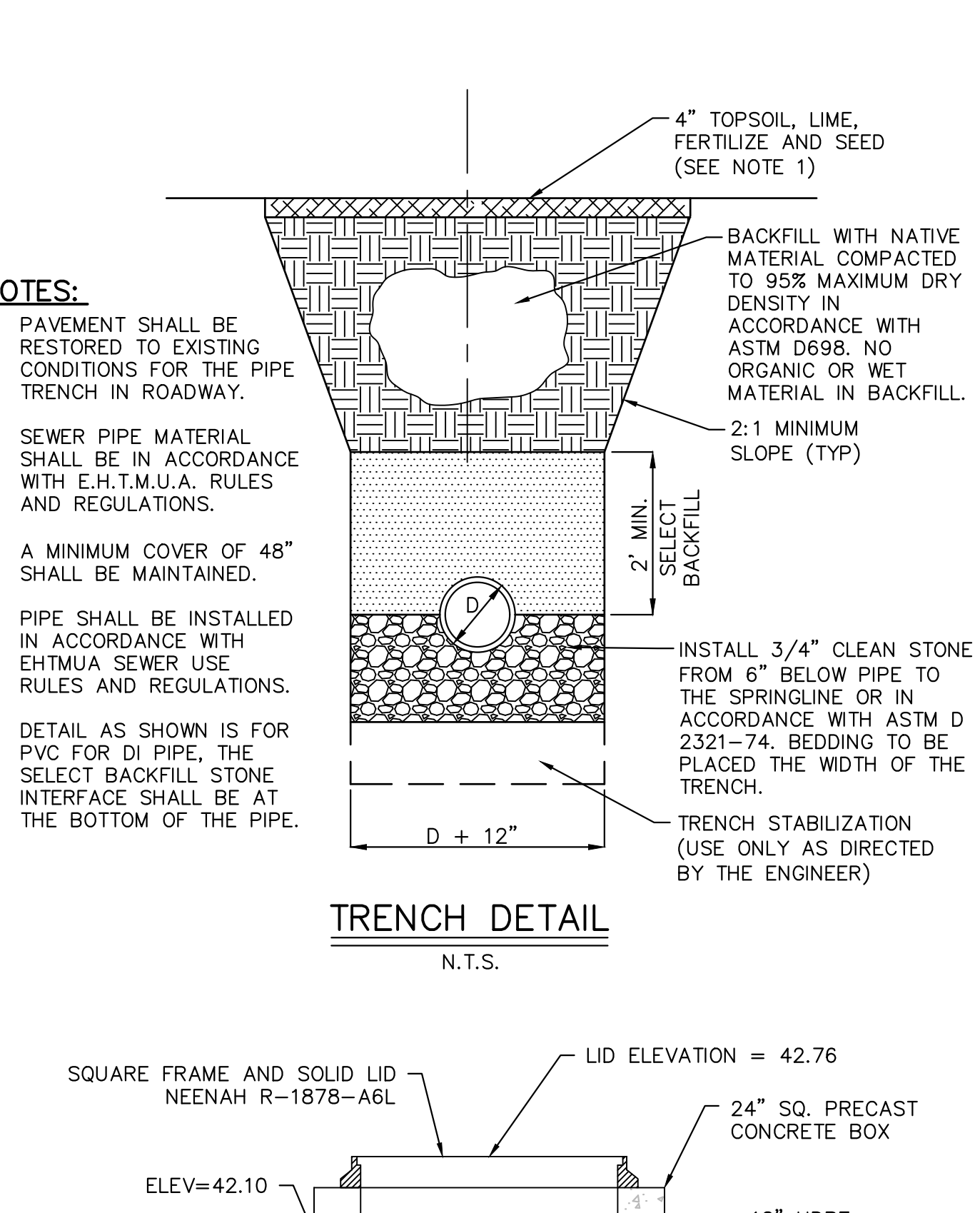
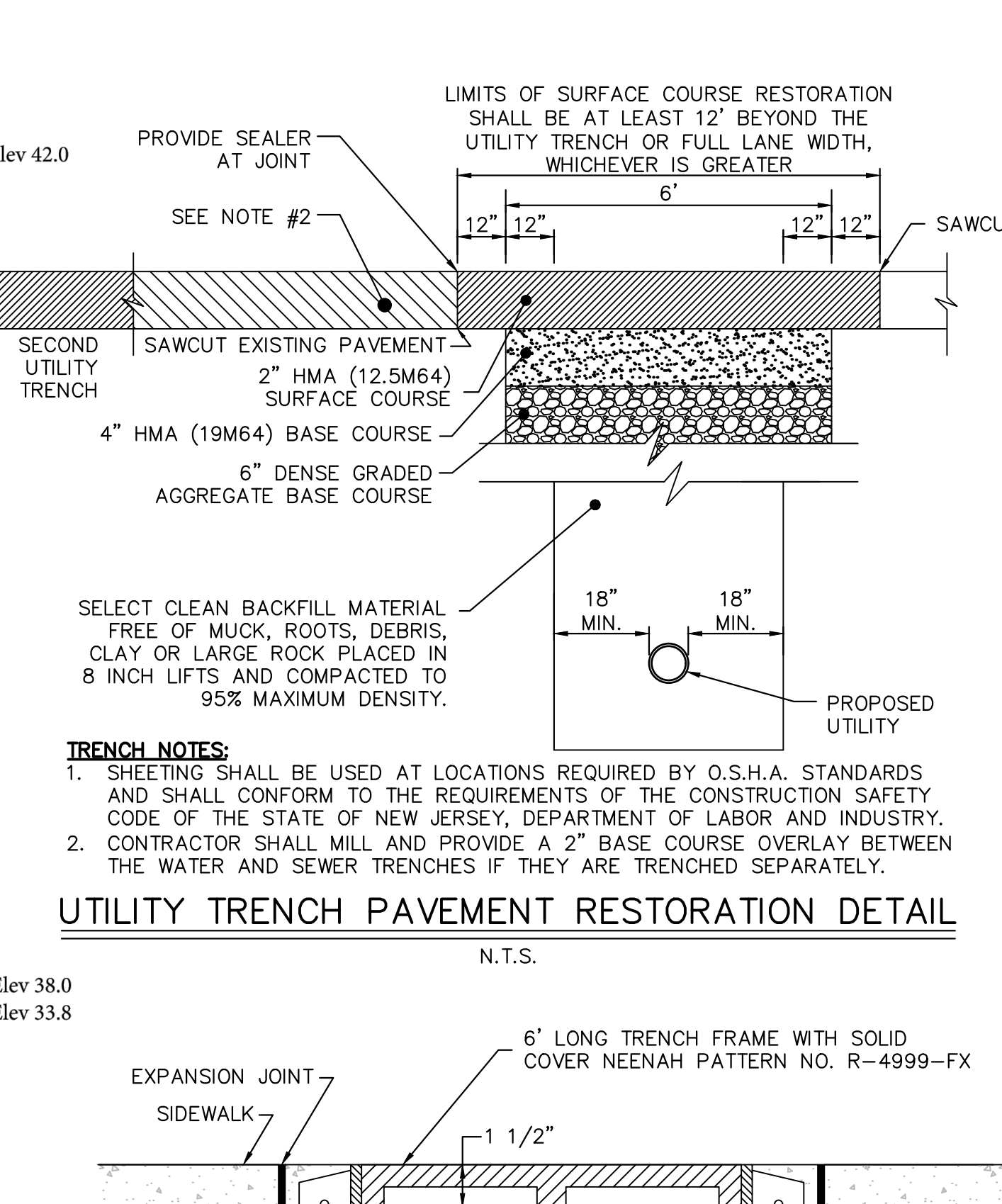
Date: April 4, 2016
Performed by: Craig Patterson
Method: Test pit with backhoe
Surroundings: Maintained lawn area (playground)

Depth (in) below existing grade	Sample Depth (in)
0	
6	
10	
13	
32	24-30 (UD)
48	36-42 (UD)
64	
76	
96	
130+	

Seasonal High Water Table:
 Ground Water: 98

Sample codes:
 UD = undisturbed sample in accordance with NJ Stormwater BMP Manual (NJDEP 2009).
 D = disturbed (grab) sample.

MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. 1616 PACIFIC AVENUE, SUITE 501 ATLANTIC CITY, N.J. 08401	EHT Head Start Facility Block 1918, Lots 1 and 7 Township of Egg Harbor Atlantic County, New Jersey	SOIL LOG TP1 Job No.: GCP 004.01
--	--	--



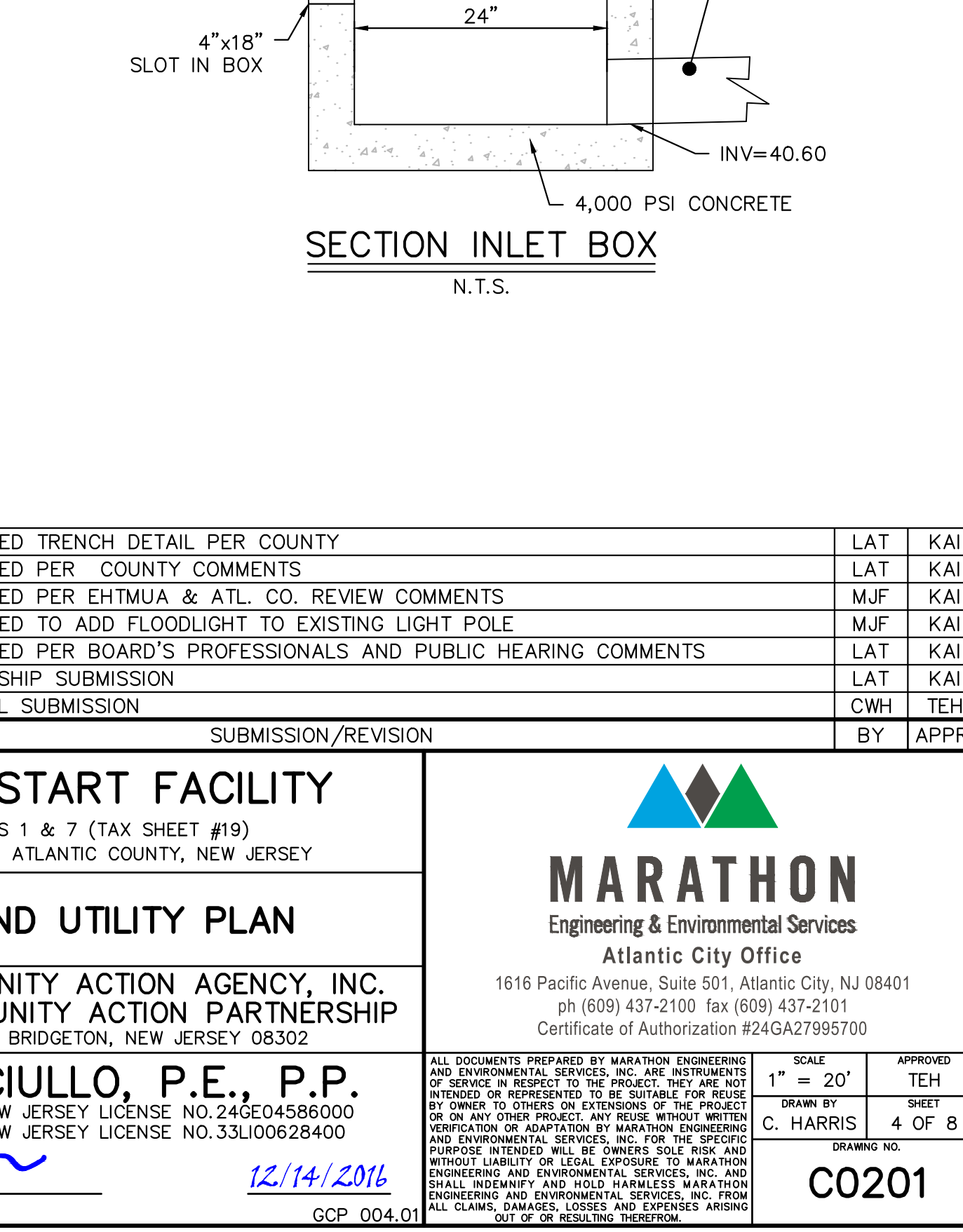
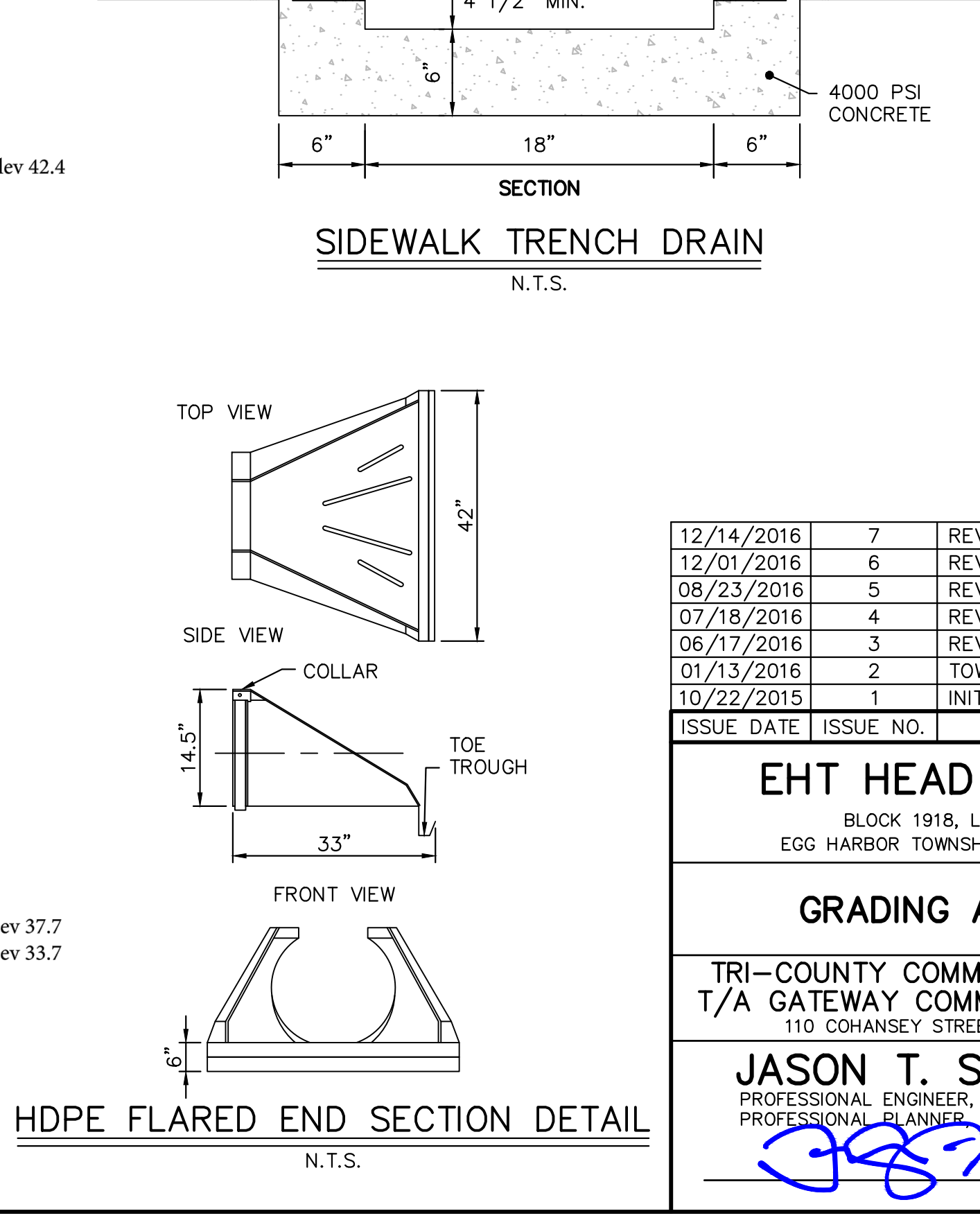
Date: April 4, 2016
Performed by: Craig Patterson
Method: Test pit with backhoe
Surroundings: Maintained lawn area (playground)

Depth (in) below existing grade	Sample Depth (in)
0	
3	
17	
38	
56	40-46 (UD)
76	63-69 (UD)
84	
133+	84-90 (UD)

Seasonal High Water Table:
 Ground Water: 104

Sample codes:
 UD = undisturbed sample in accordance with NJ Stormwater BMP Manual (NJDEP 2009).
 D = disturbed (grab) sample.

MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. 1616 PACIFIC AVENUE, SUITE 501 ATLANTIC CITY, N.J. 08401	EHT Head Start Facility Block 1918, Lots 1 and 7 Township of Egg Harbor Atlantic County, New Jersey	SOIL LOG TP2 Job No.: GCP 004.01
--	--	--



ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.
12/14/2016	7	REVISED TRENCH DETAIL PER COUNTY	LAT	KAI
12/01/2016	6	REVISED PER COUNTY COMMENTS	LAT	KAI
08/23/2016	5	REVISED PER EHTMUA & ATL. CO. REVIEW COMMENTS	MJF	KAI
07/18/2016	4	REVISED TO ADD FLOODLIGHT TO EXISTING LIGHT POLE	MJF	KAI
06/17/2016	3	REVISED PER BOARD'S PROFESSIONALS AND PUBLIC HEARING COMMENTS	LAT	KAI
01/13/2016	2	TOWNSHIP SUBMISSION	LAT	KAI
10/22/2015	1	INITIAL SUBMISSION	CWH	TEH

EHT HEAD START FACILITY
 BLOCK 1918, LOTS 1 & 7 (TAX SHEET #19)
 EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY

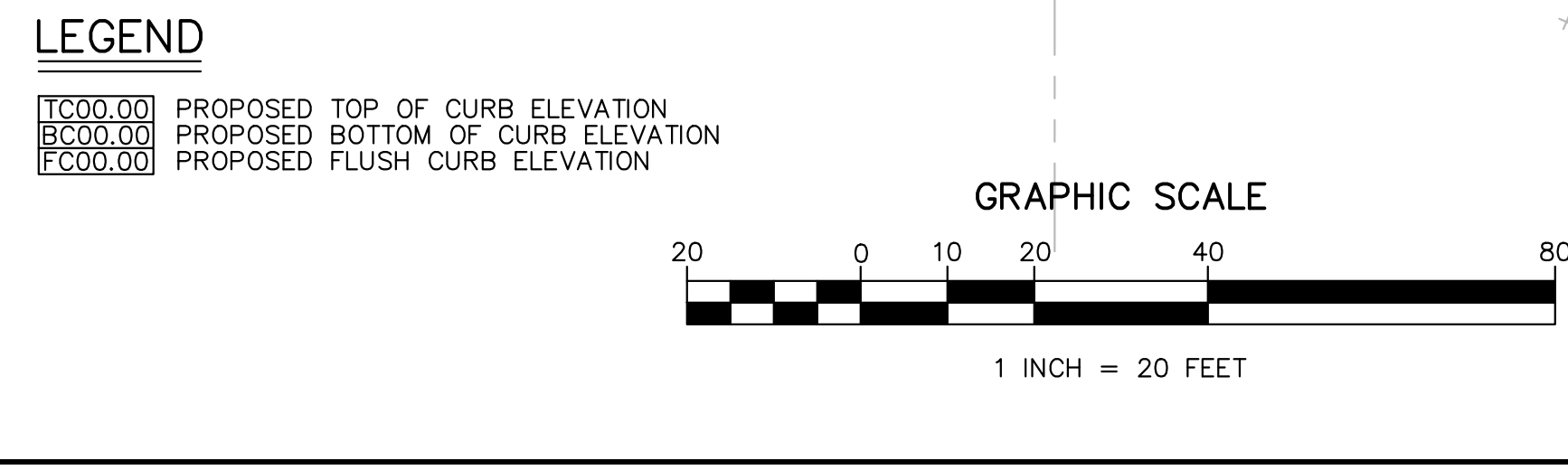
GRADING AND UTILITY PLAN

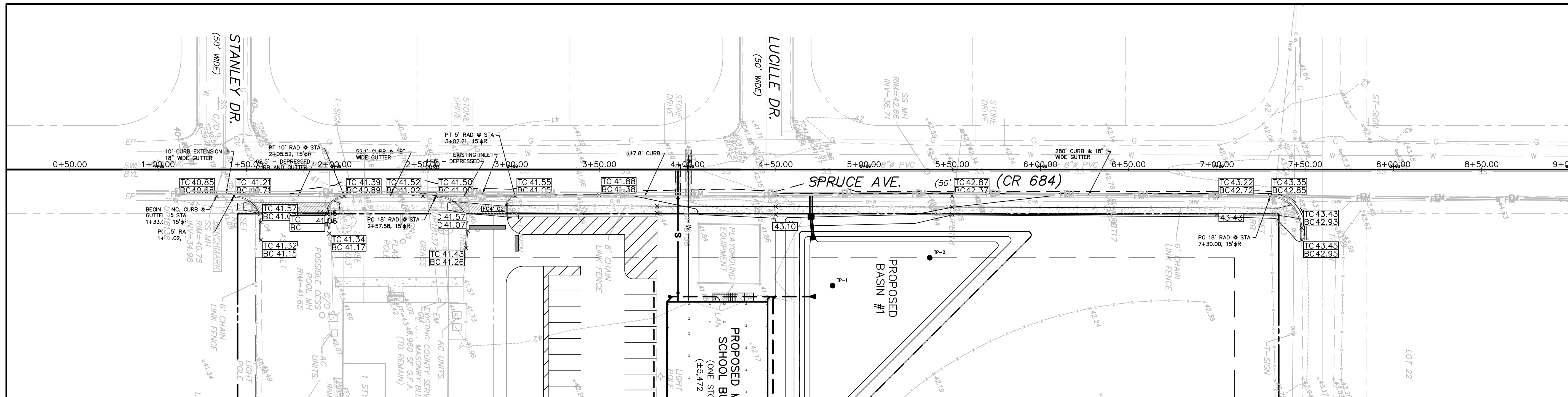
TRI-COUNTY COMMUNITY ACTION AGENCY, INC.
 T/A GAWANEY COMMUNITY ACTION PARTNERSHIP
 110 COWANEY STREET, BRIDGE TOWN, NEW JERSEY 08302

JASON T. SCIULLO, P.E., P.P.
 PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 24004595000
 PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 33000628400

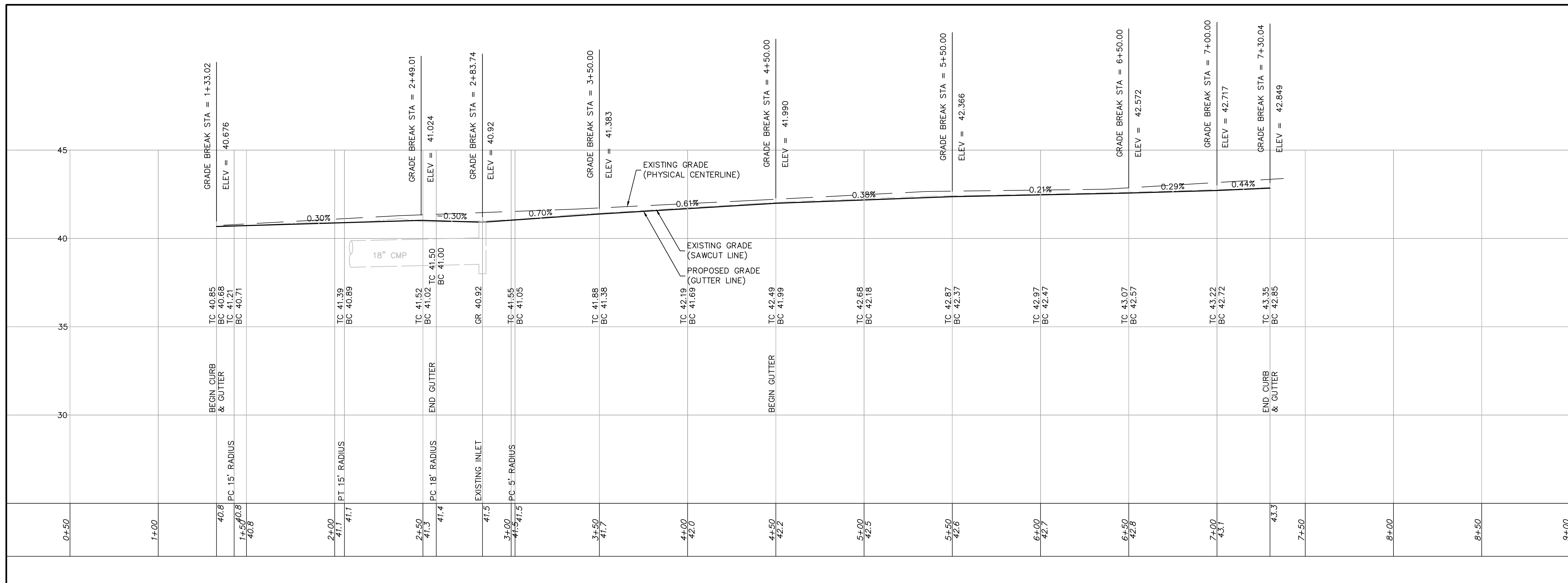
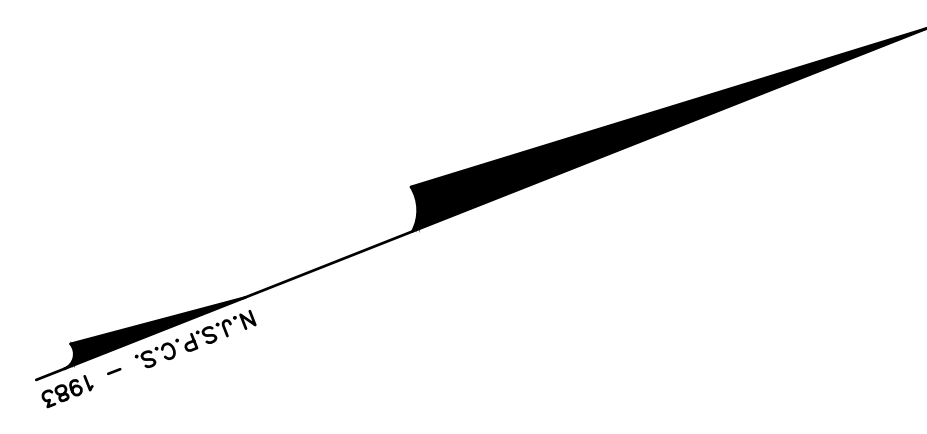
MARATHON Engineering & Environmental Services
 Atlantic City Office
 1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401
 ph (609) 437-2100 fax (609) 437-2101
 Certificate of Authorization #242A2795700

SCALE: 1" = 20'
 SHEET: 4 OF 8
 DATE: 12/14/2016
 GCP 004.01



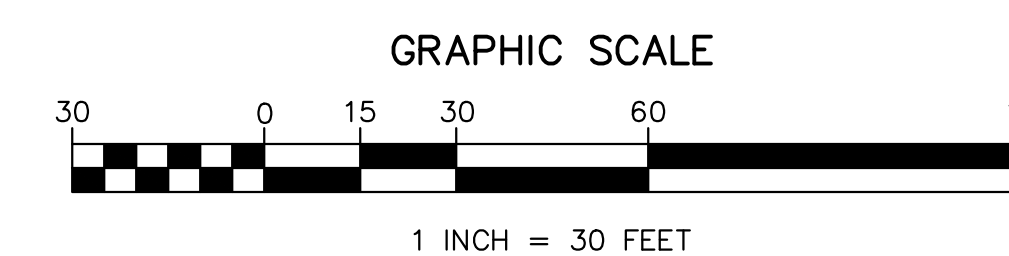
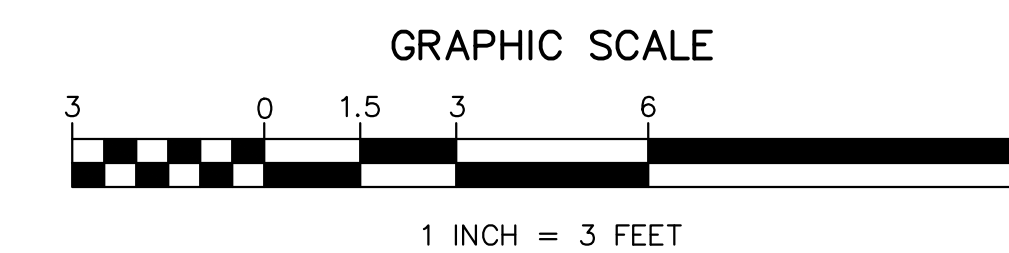


SITE PLAN
SCALE: 1" = 30'



SPRUCE AVENUE PROFILE

HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 5'



EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

12/14/2016	7	REVISED TRENCH DETAIL PER COUNTY	LAT	KAI
12/01/2016	6	REVISED PER COUNTY COMMENTS	LAT	KAI
08/23/2016	5	REVISED PER EHTMUA & ATL. CO. REVIEW COMMENTS	MJF	KAI
07/18/2016	4	REVISED TO ADD FLOODLIGHT TO EXISTING LIGHT POLE	MJF	KAI
06/17/2016	3	REVISED PER BOARD'S PROFESSIONALS AND PUBLIC HEARING COMMENTS	LAT	KAI
01/13/2016	2	TOWNSHIP SUBMISSION	LAT	KAI
10/22/2015	1	INITIAL SUBMISSION	CWH	TEH
ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.

EHT HEAD START FACILITY

BLOCK 1918, LOTS 1 & 7 (TAX SHEET #19)
EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY

SPRUCE AVENUE PLAN & PROFILE

TRI-COUNTY COMMUNITY ACTION AGENCY, INC.
T/A GATEWAY COMMUNITY ACTION PARTNERSHIP
110 COHANSEY STREET, BRIDGETON, NEW JERSEY 08302

JASON T. SCIULLO, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 24804586000
PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 33100628400

[Signature]
12/14/2016
GCP 004.01

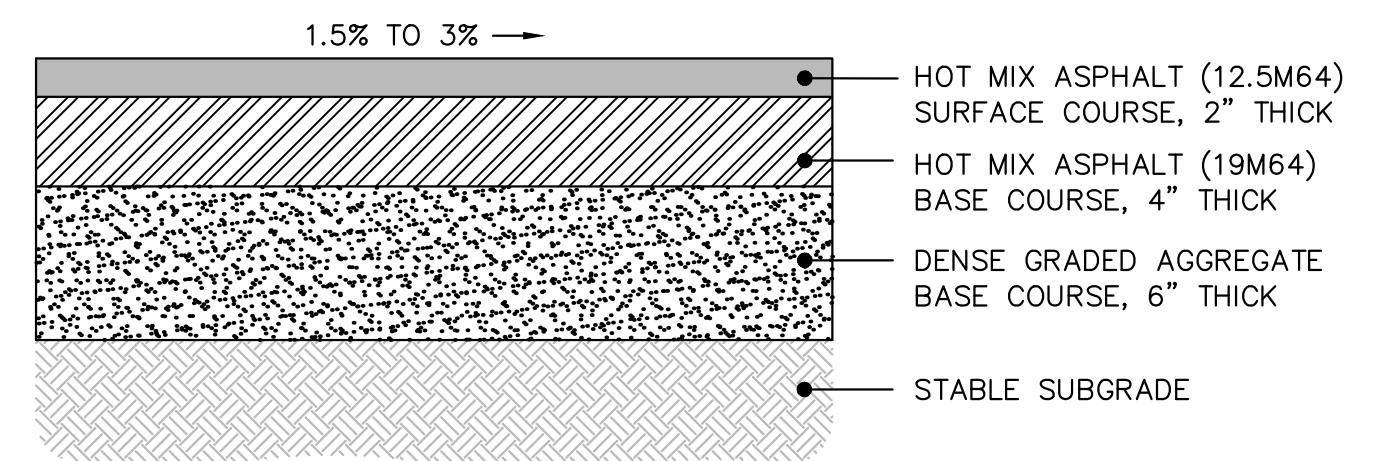
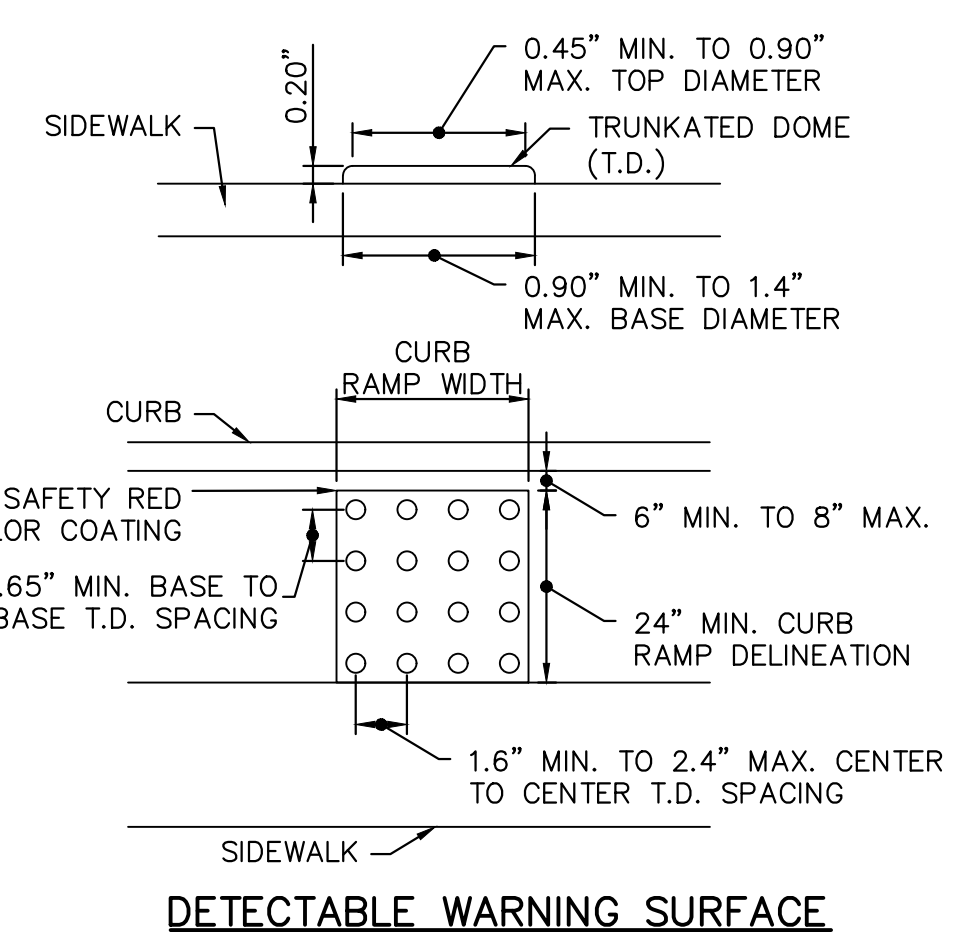
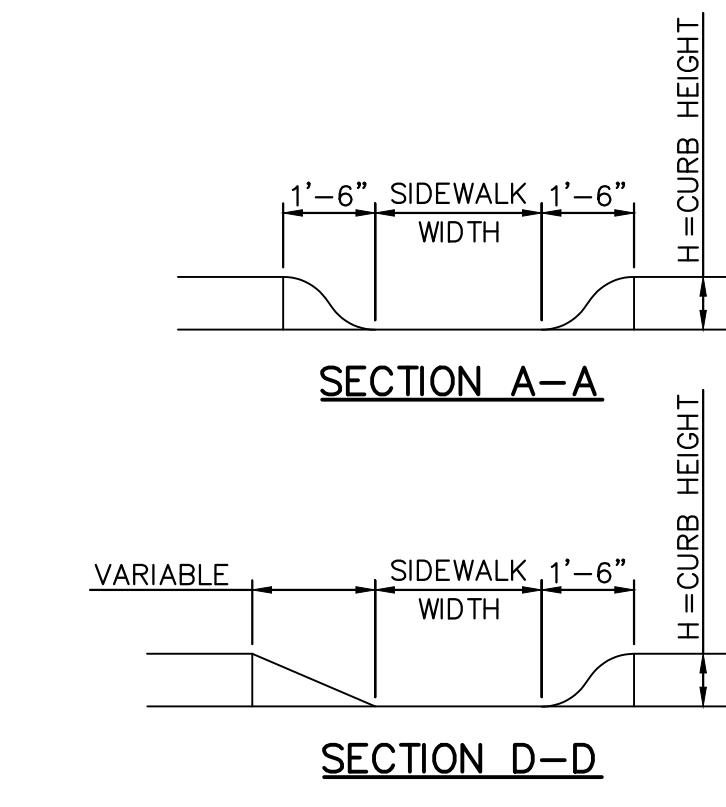


1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401
ph (609) 437-2100 fax (609) 437-2101
Certificate of Authorization #24GA27995700

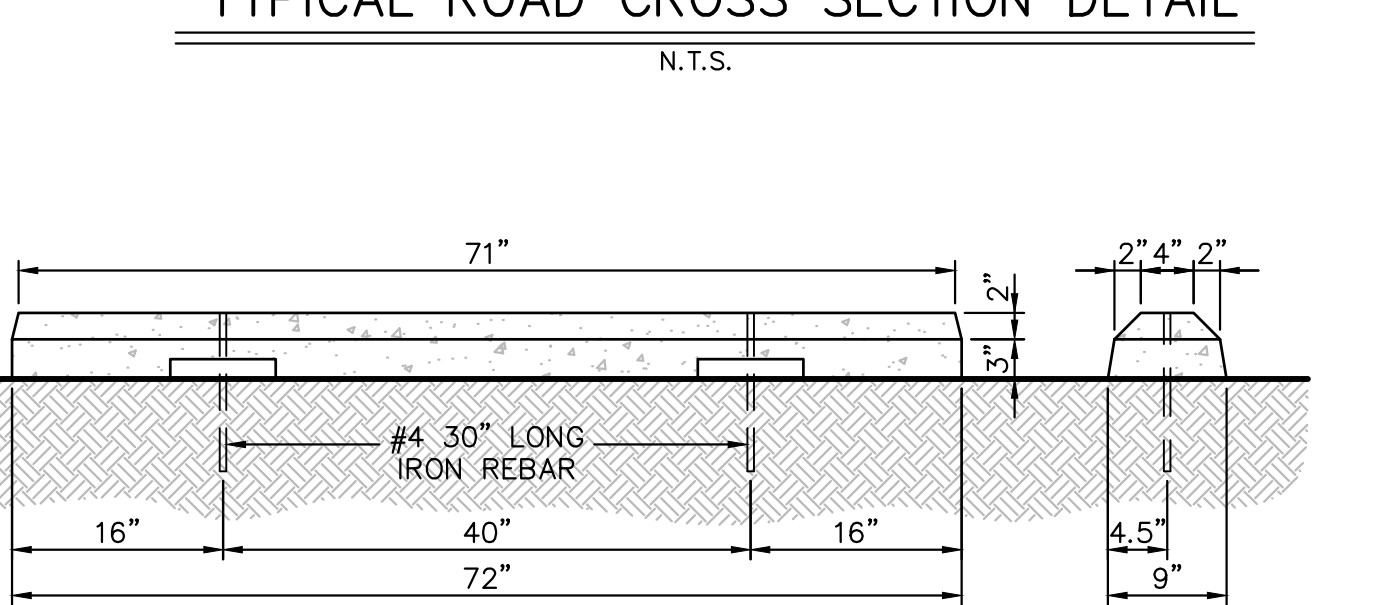
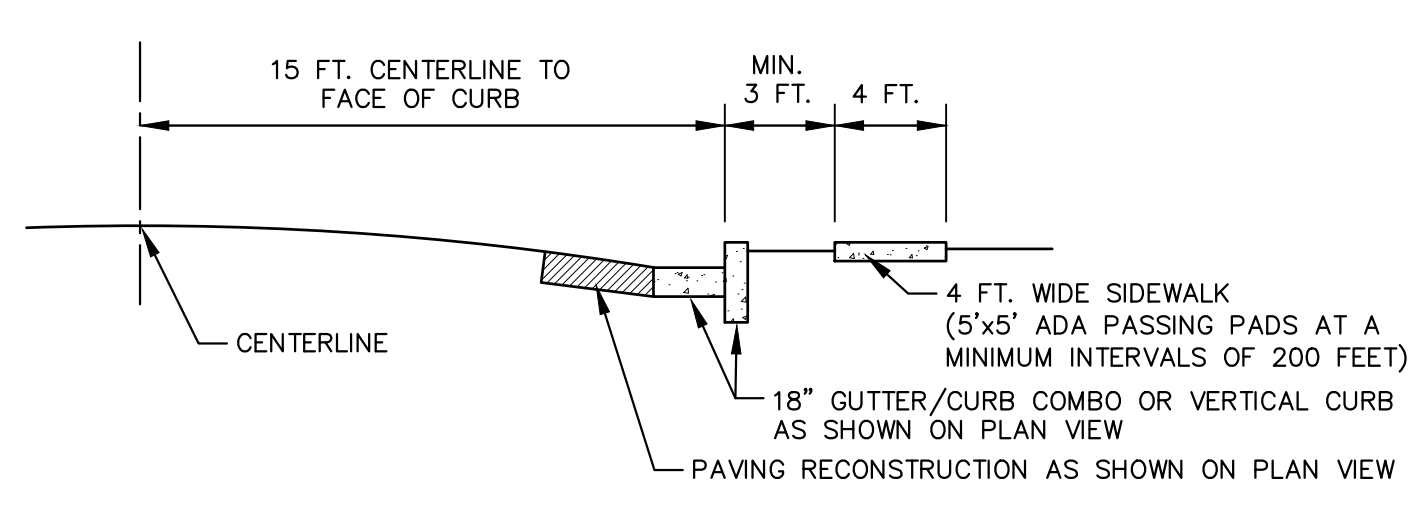
SCALE: 1" = 30' JTS
SHEET: DFW 5 OF 8
DRAWING NO.: C2801

ALL DOCUMENTS PREPARED BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ARE THE PROPERTY OF MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT WRITTEN PERMISSION FROM MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS DOCUMENT IS STRICTLY PROHIBITED. MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. SHALL INDEMNIFY AND HOLD HARMLESS MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC. FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE PERFORMANCE OF THE SERVICES PROVIDED BY MARATHON ENGINEERING AND ENVIRONMENTAL SERVICES, INC.

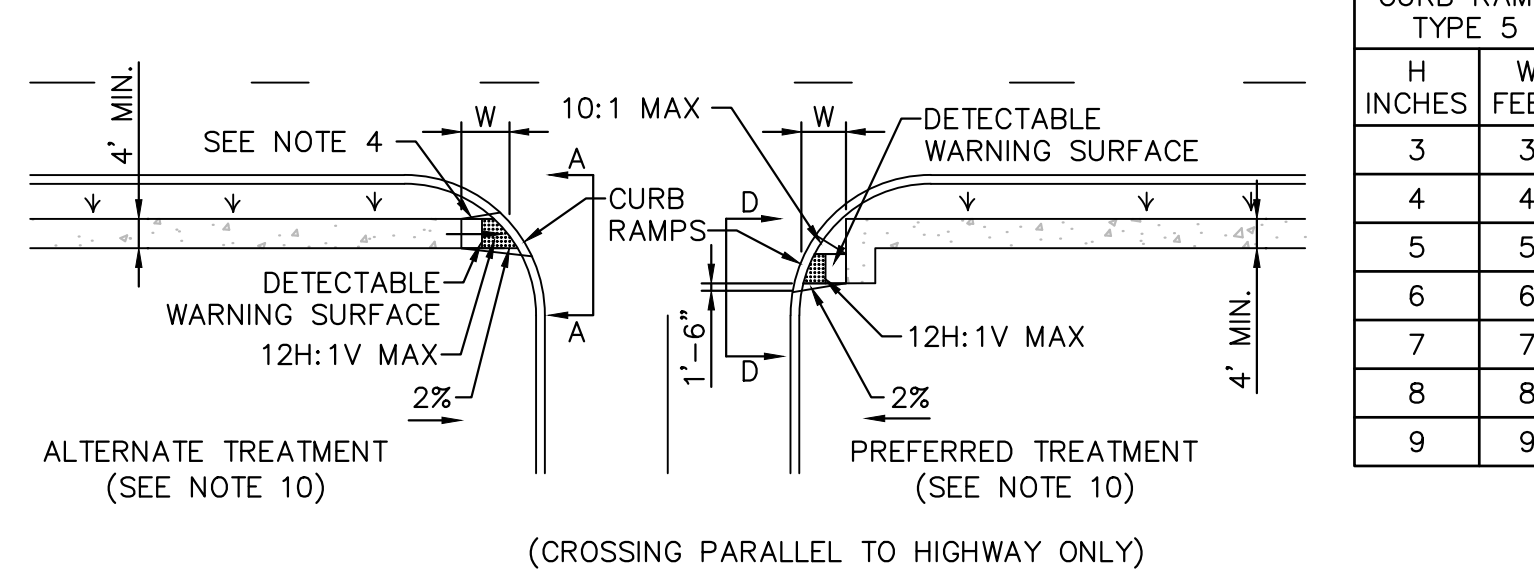
DRAWN BY: JASON T. SCIULLO, P.E., P.P. DATE: 12/14/2016



NOTES:
1. ALL ASPHALT USED ON ROADWAYS SHALL BE OBTAINED FROM A N.J.D.O.T. CERTIFIED PLANT ONLY.

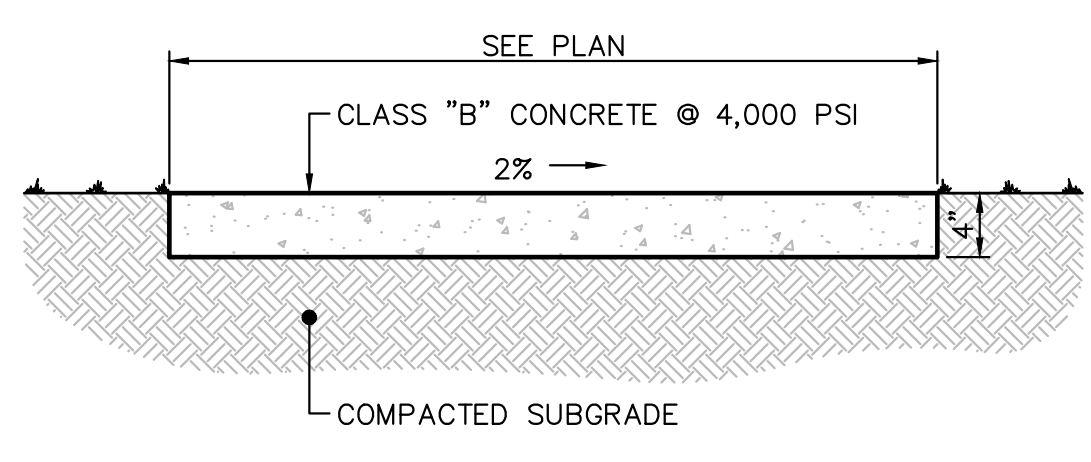


N.T.S.

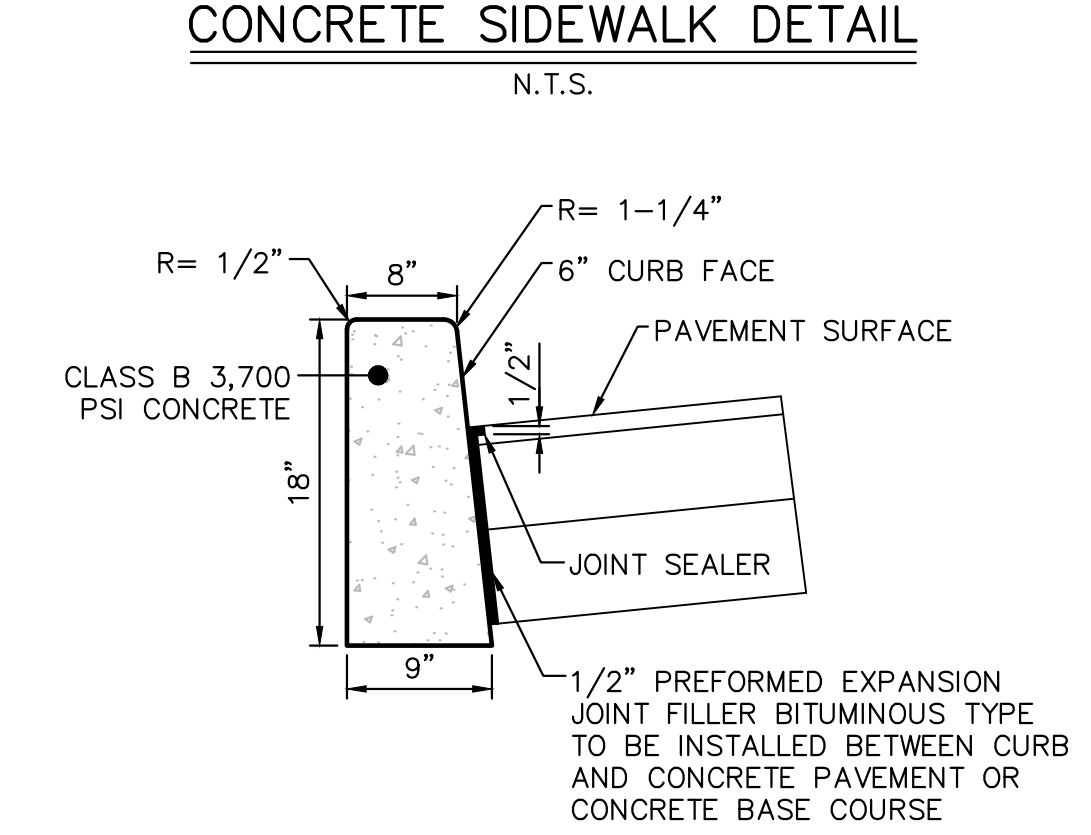


N.T.S.

CURB RAMP TYPE 5	
H	W
INCHES	FEET
3	3
4	4
5	5
6	6
7	7
8	8
9	9

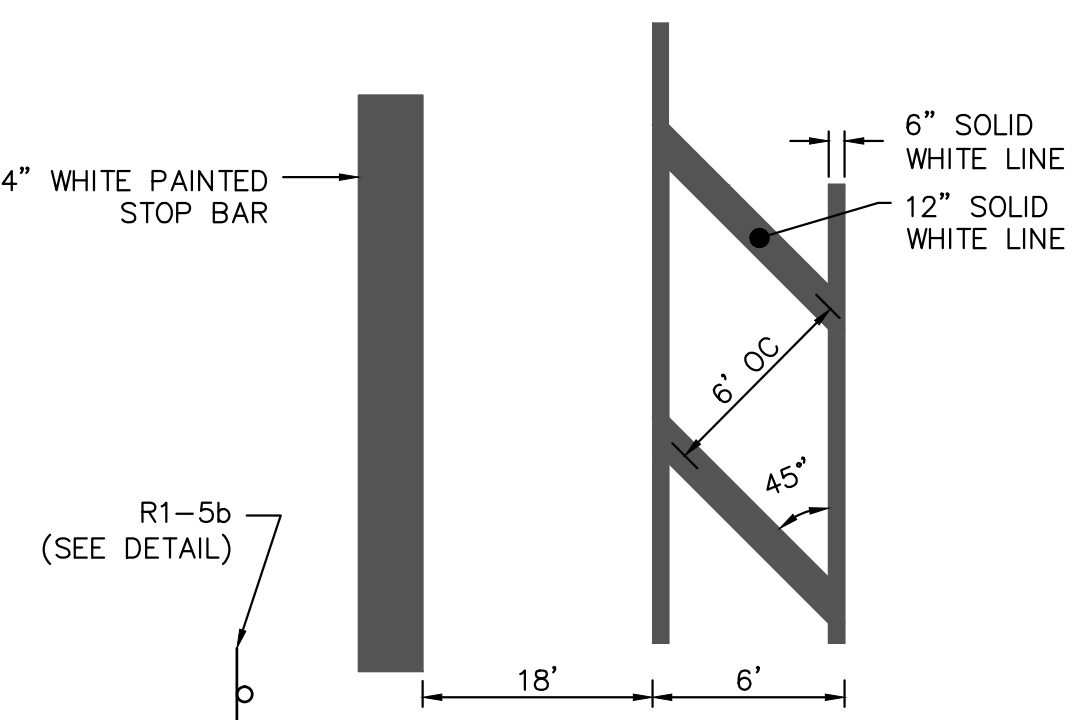


NOTES:
1. EXPANSION JOINTS TO BE AT 20 FT. C.C.; CONTROL JOINTS TO BE AT 4 FT. C.C. EXPANSION JOINT MATERIAL TO BE CORK OR MASTIC MATERIAL OR APPROVED EQUAL.
2. 2% SLOPE INDICATES FLOW AWAY FROM BUILDING TO ROADWAY OR PARKING AREA.
3. SIDEWALK SURFACE TO BE BROOM FINISH.



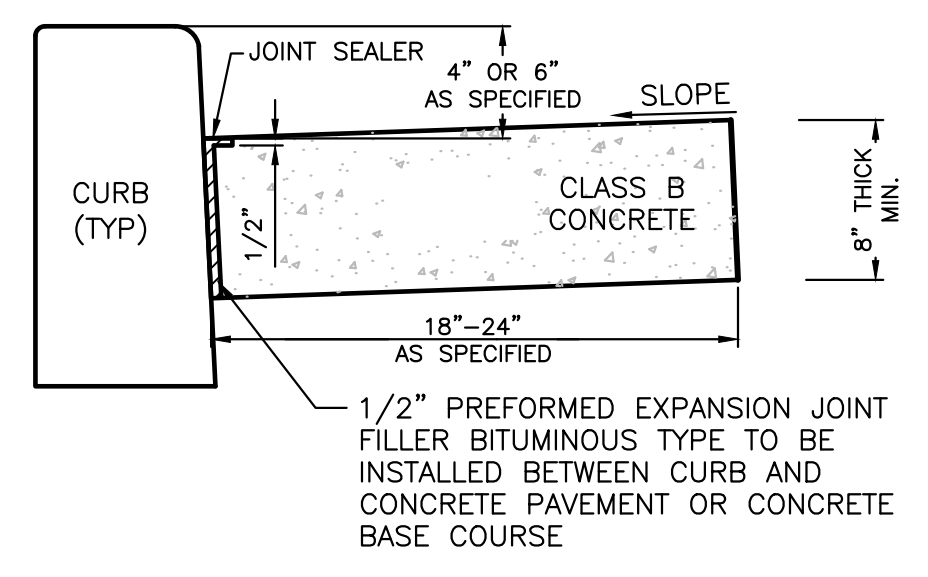
NOTE: WHITE CONCRETE CURBING SHALL BE CONSTRUCTED WHERE SPECIFIED BY COUNTY ENGINEER.

N.T.S.

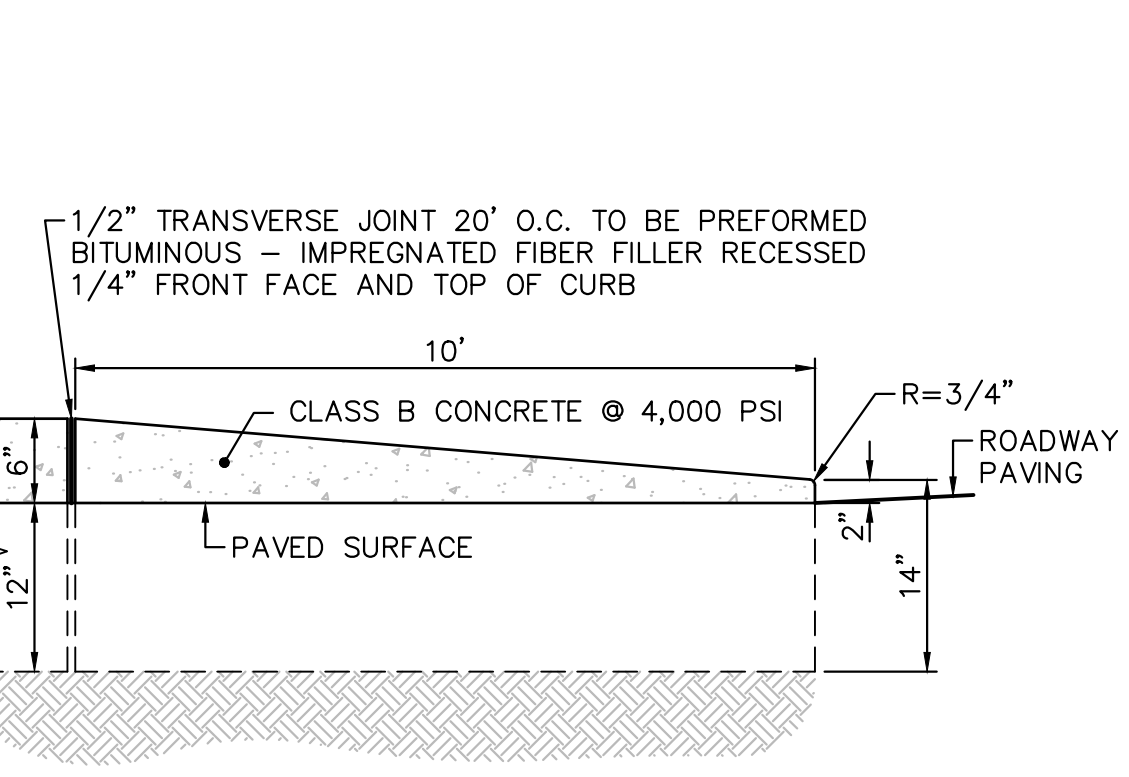


NOTE: PAVEMENT MARKINGS SHALL BE THERMOPLASTIC FOR LONG LIFE TRAFFIC MARKINGS, HOT EXTRUDED, APPLIED AT 3MM WET AND 1.75MM DRY.

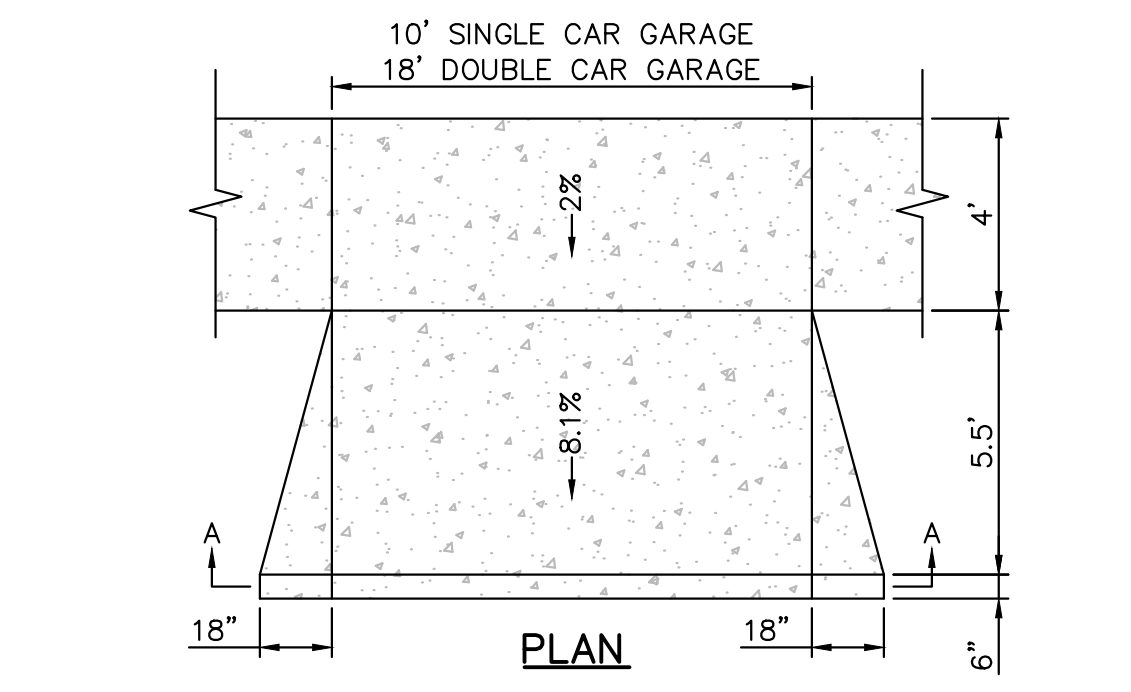
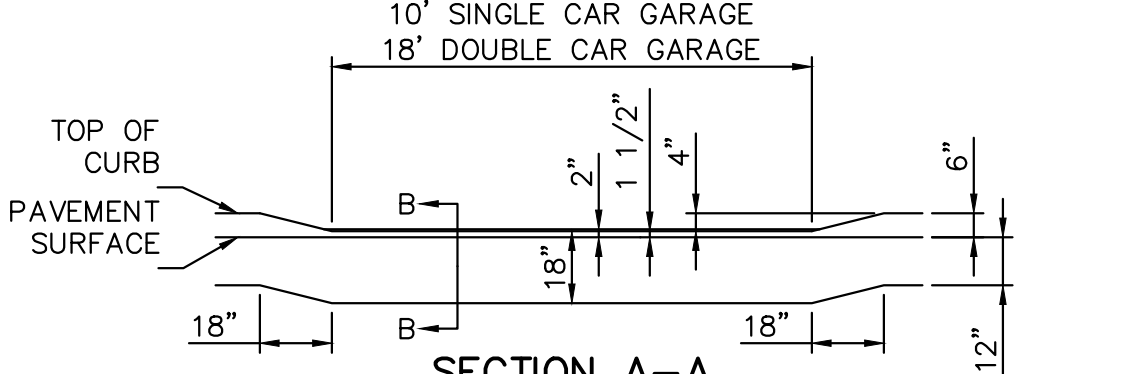
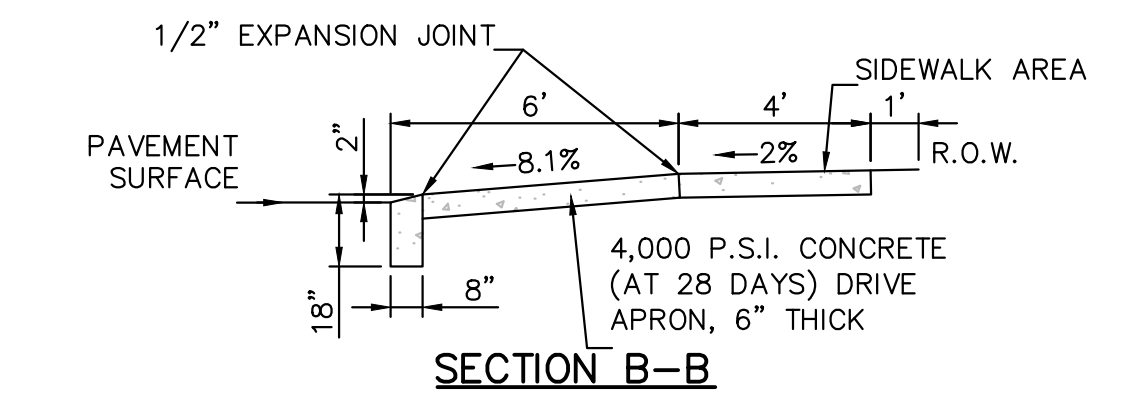
N.T.S.



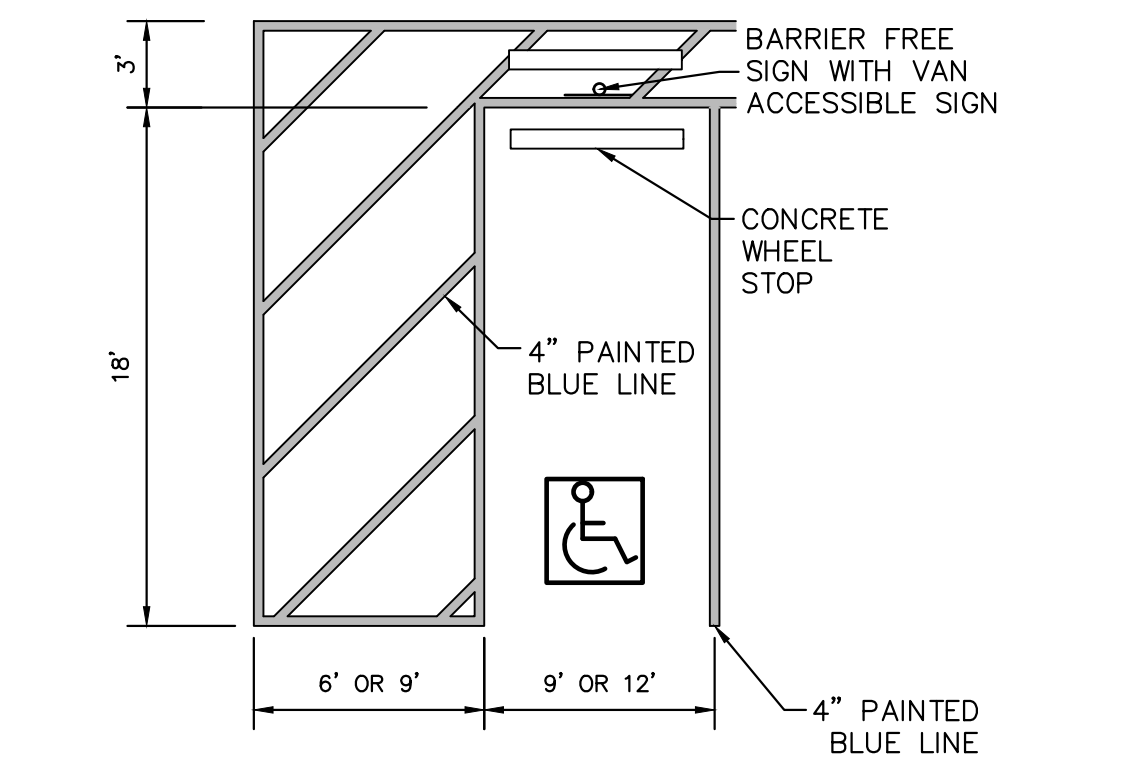
N.T.S.



N.T.S.

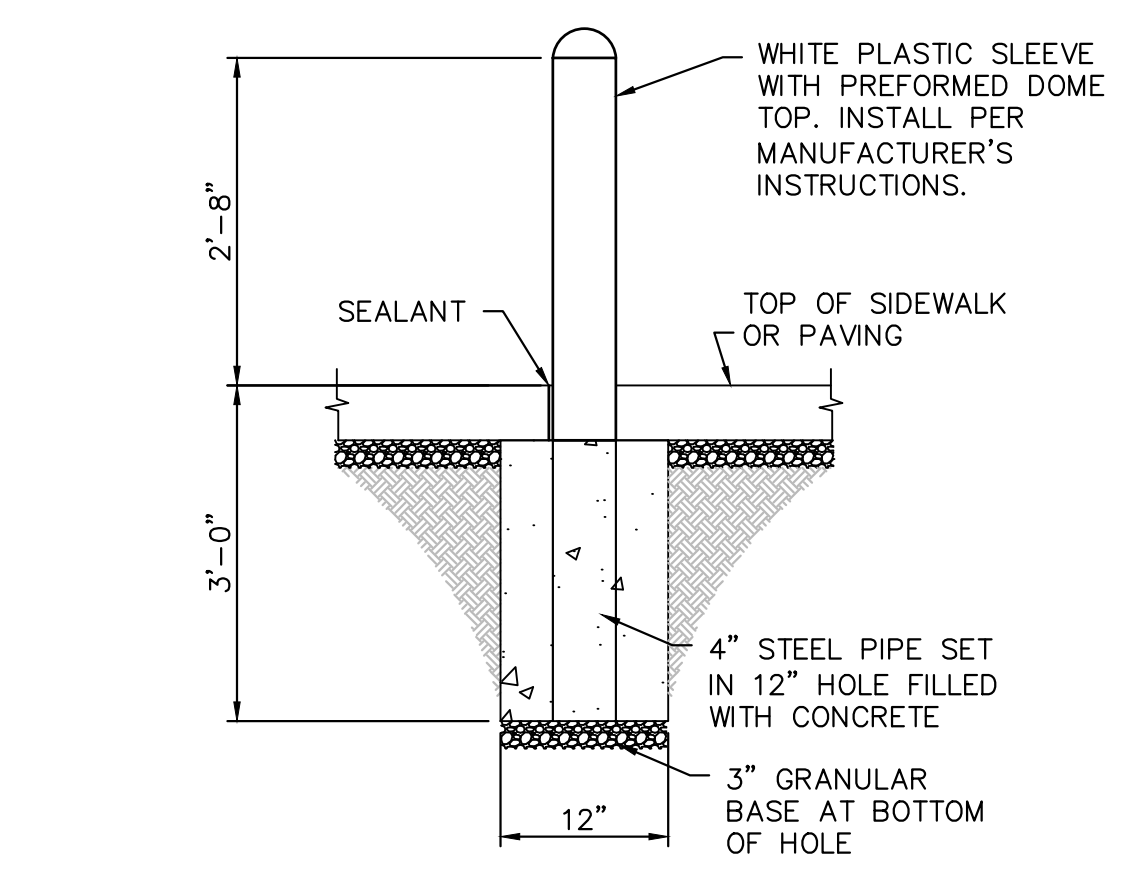


N.T.S.

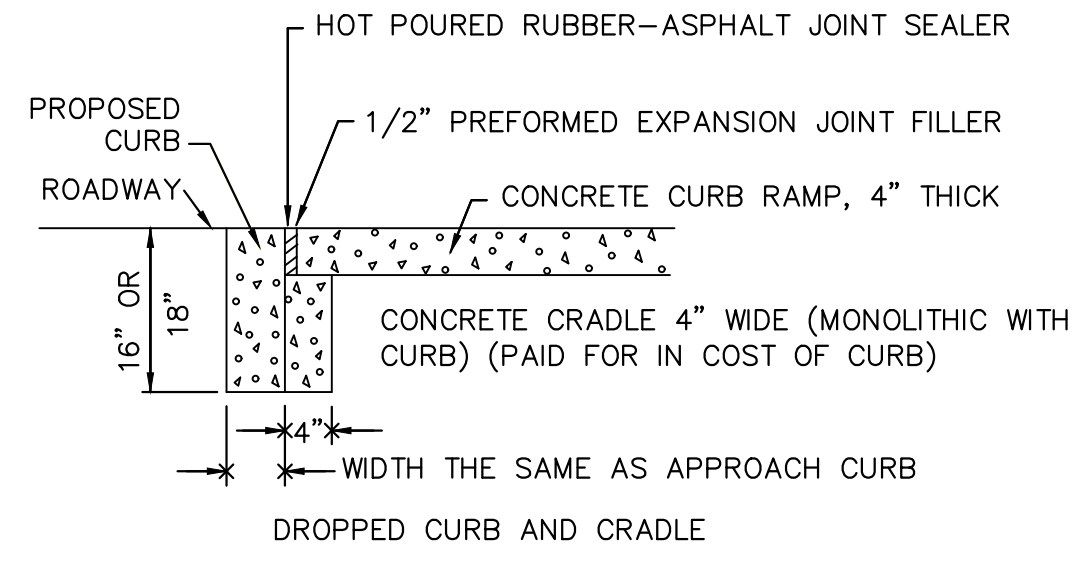


1. ALL BARRIER FREE PARKING DESIGN AND CONSTRUCTION SHALL CONFORM TO THE LATEST A.D.A. STANDARDS.
2. REFER TO SITE PLAN SHEETS FOR ADA STALL DIMENSIONS

N.T.S.

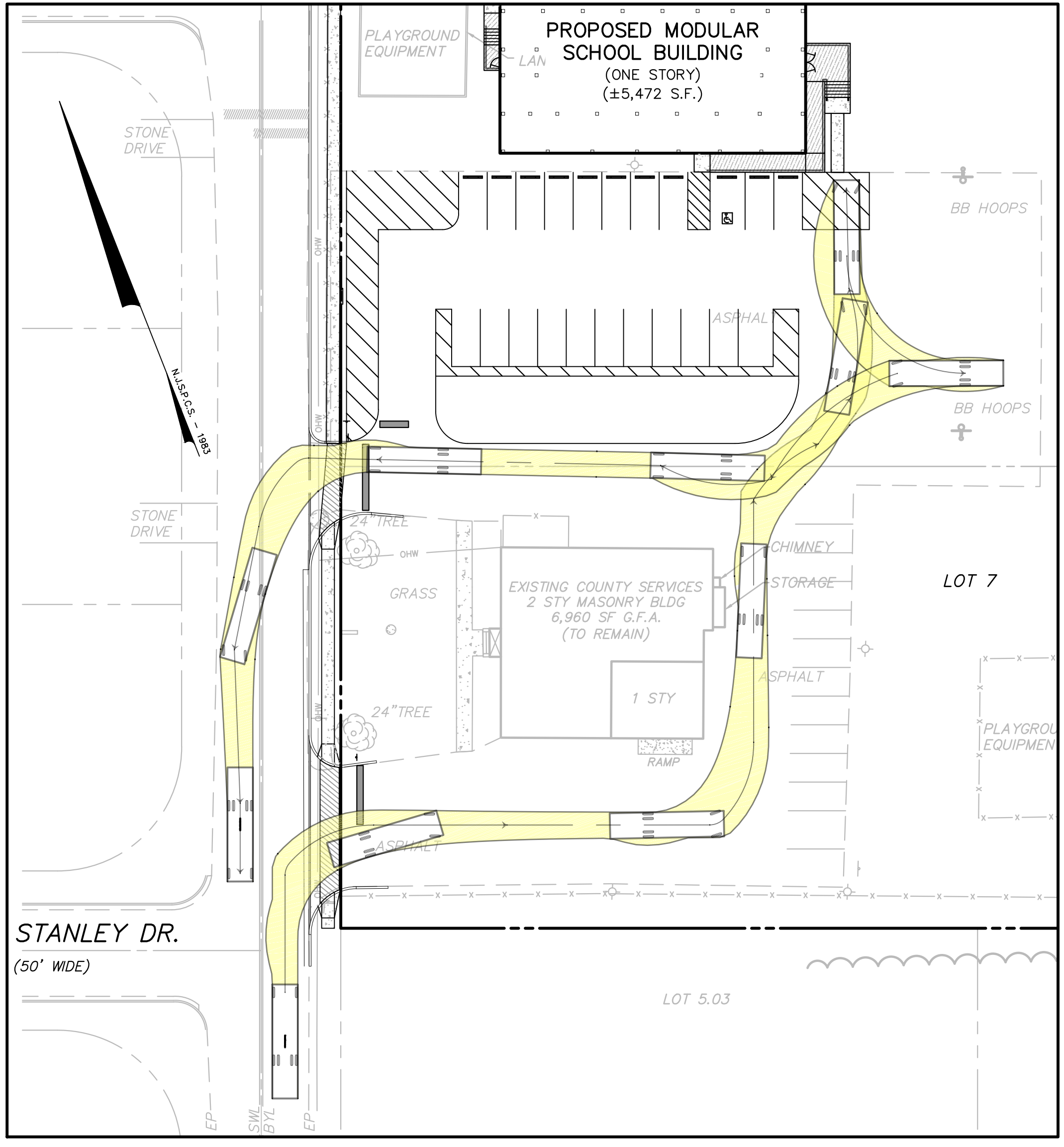


N.T.S.

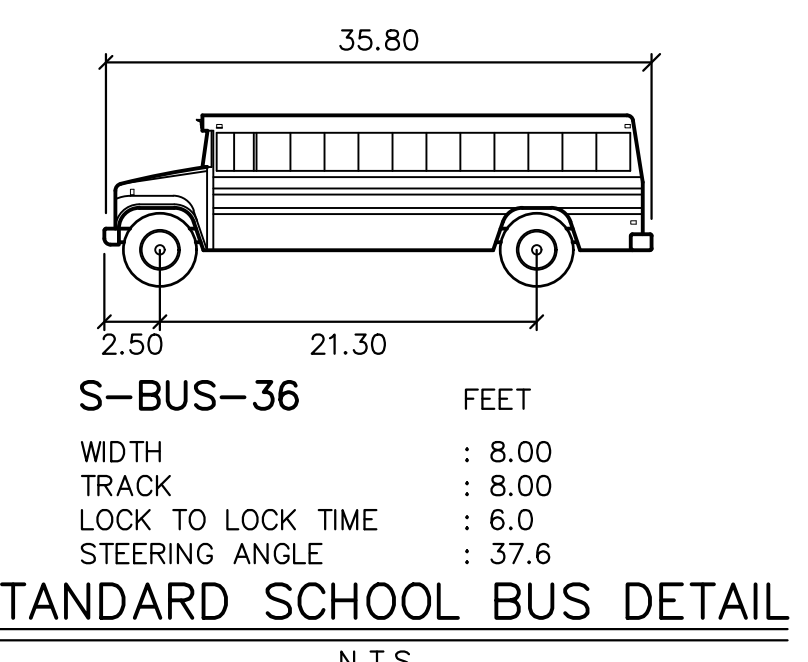


- NOTES:
- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
 - DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
 - CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMP.
 - FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
 - SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
 - CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE SIZE AND KIND.
 - WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
 - THE PUBLIC SIDEWALK CURB RAMP, DETECTABLE WARNING SURFACE (SHADED AREA) SHALL BE SAFETY RED COLOR ON CONCRETE OR 70% COLOR CONTRAST FOR OTHER SURFACE SUCH AS BRICK.
 - CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
 - PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.
 - DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS. WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.

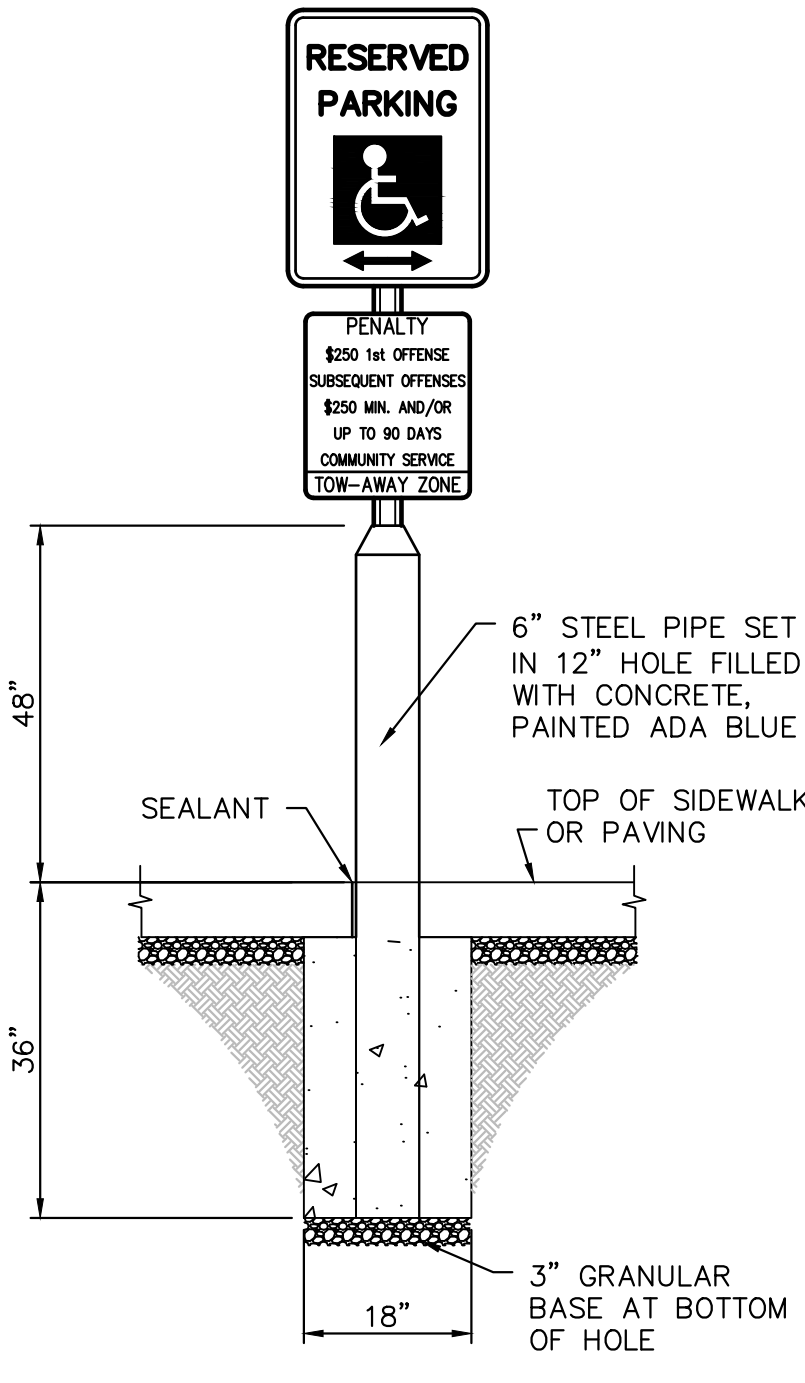
N.T.S.



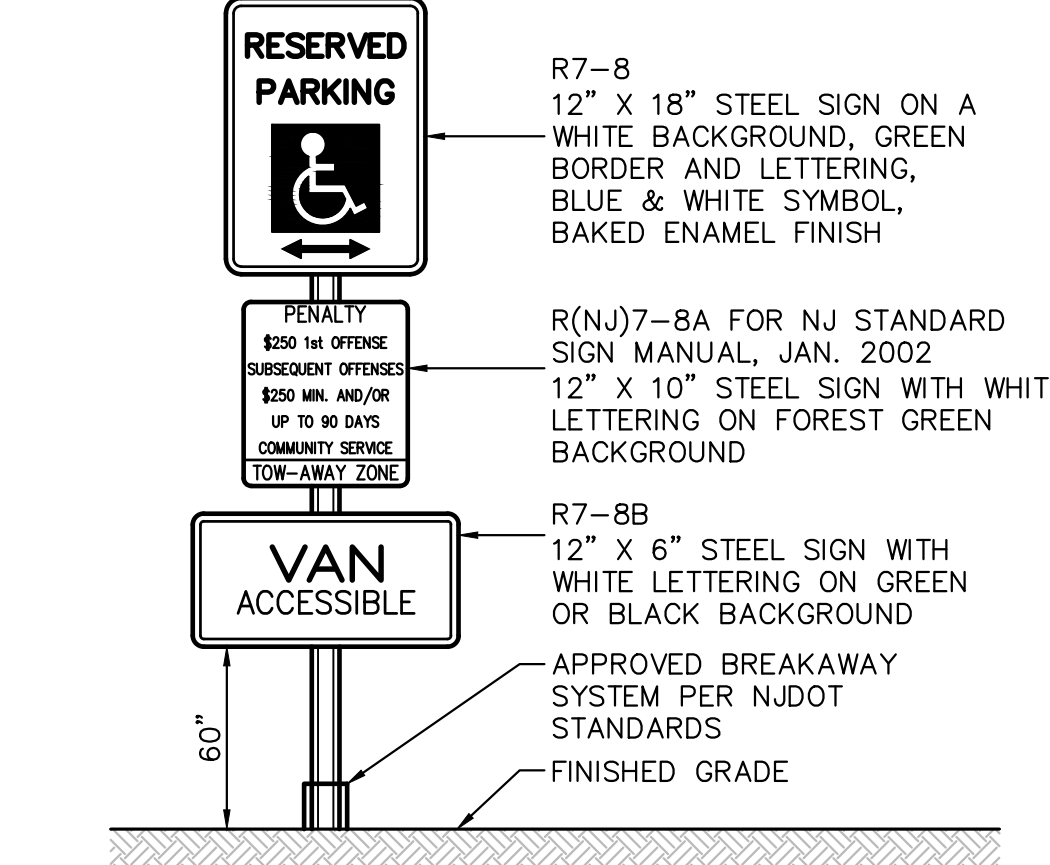
SCALE: 1" = 30'



N.T.S.

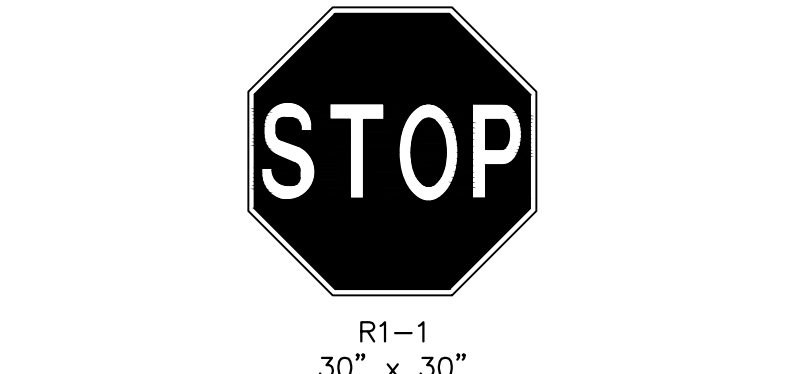


N.T.S.



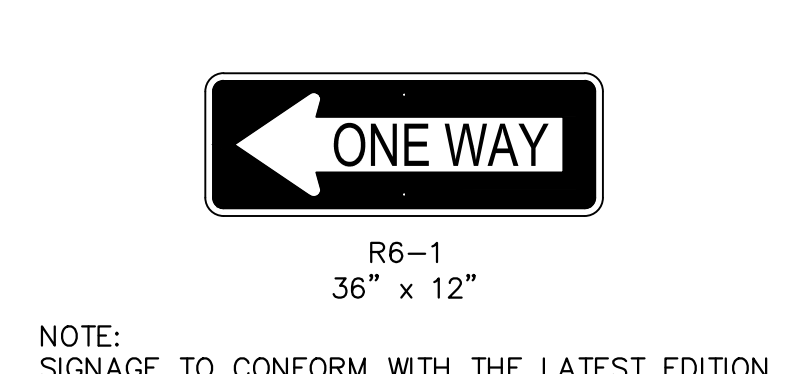
NOTE: SIGNAGE TO CONFORM WITH THE LATEST EDITION OF STANDARD SIGNS FHA MUTCD. ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY SIGN POSTS.

N.T.S.



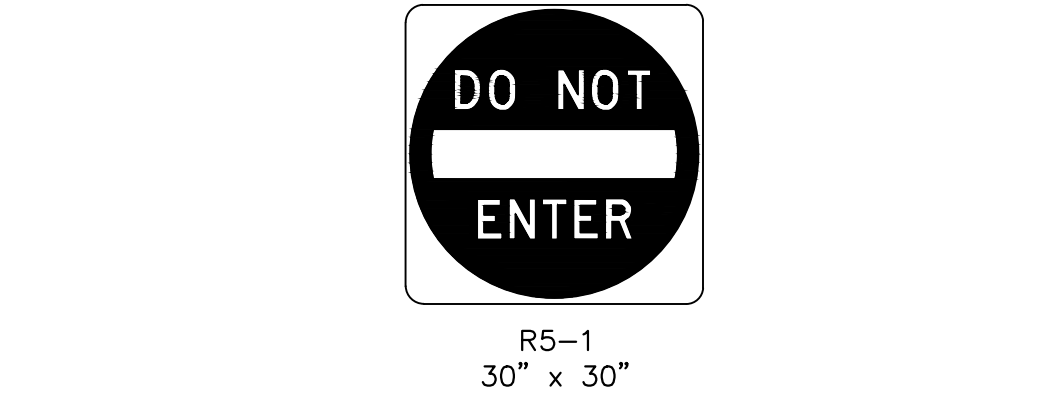
NOTE: SIGNAGE TO CONFORM WITH THE LATEST EDITION OF STANDARD SIGNS FHA MUTCD. ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY SIGN POSTS.

N.T.S.



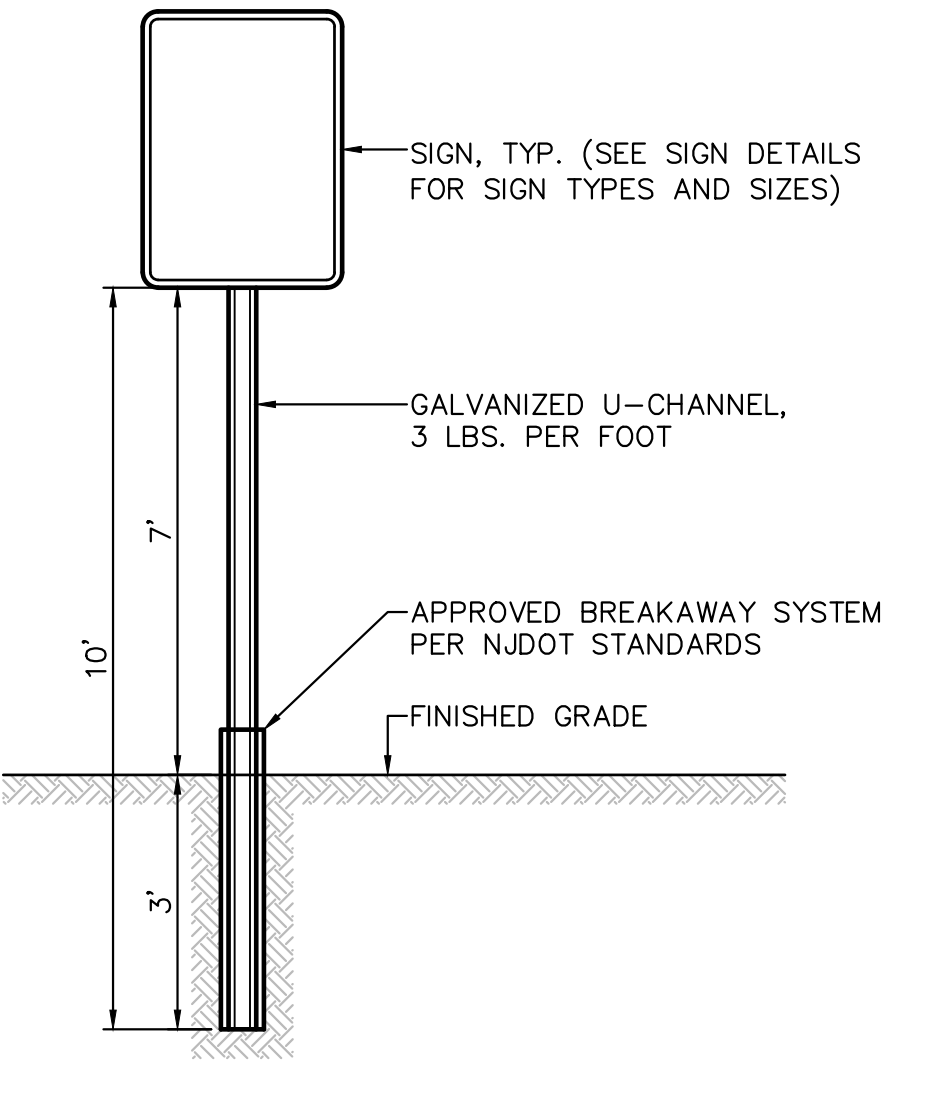
NOTE: SIGNAGE TO CONFORM WITH THE LATEST EDITION OF STANDARD SIGNS FHA MUTCD. ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY SIGN POSTS.

N.T.S.

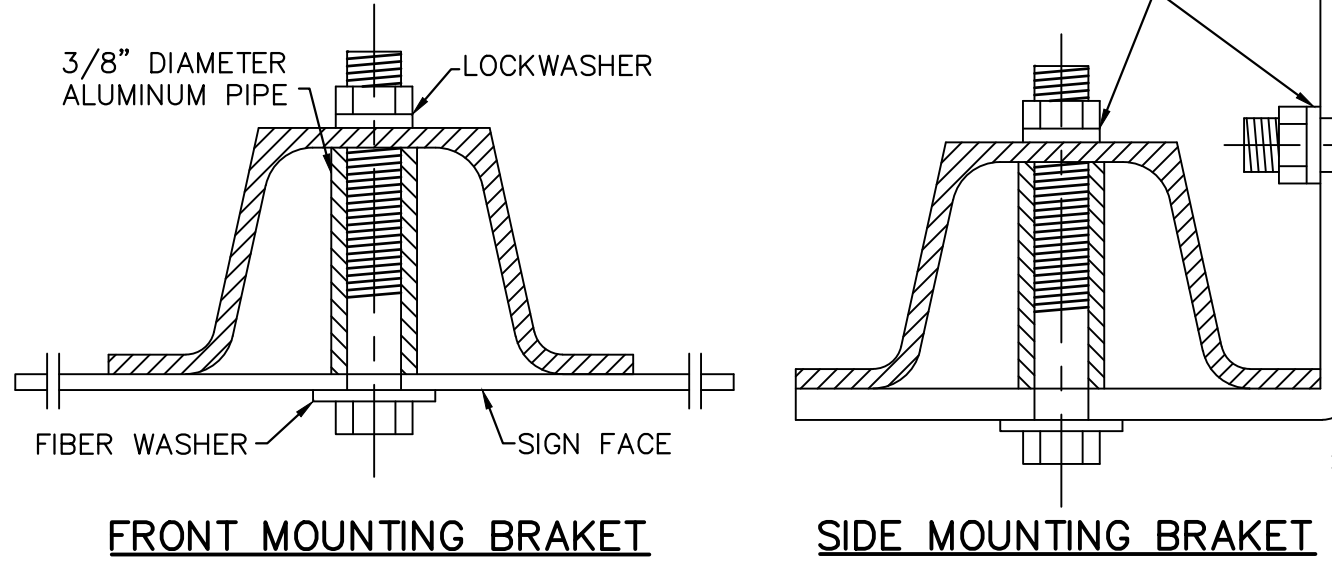


NOTE: SIGNAGE TO CONFORM WITH THE LATEST EDITION OF STANDARD SIGNS FHA MUTCD. ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY SIGN POSTS.

N.T.S.



N.T.S.



N.T.S.

ISSUE DATE	ISSUE NO.	ISSUE DESCRIPTION	BY	APPR.
12/14/2016	7	REVISED TRENCH DETAIL PER COUNTY	N.T.S.	KAI
12/01/2016	6	REVISED PER COUNTY COMMENTS		KAI
08/23/2016	5	REVISED PER EHTMUA & ATL. CO. REVIEW COMMENTS		MJF
07/18/2016	4	REVISED TO ADD FLOODLIGHT TO EXISTING LIGHT POLE		MJF
06/17/2016	3	REVISED PER BOARD'S PROFESSIONALS AND PUBLIC HEARING COMMENTS		LAT
01/13/2016	2	TOWNSHIP SUBMISSION		LAT
10/22/2015	1	INITIAL SUBMISSION		CWH

EHT HEAD START FACILITY
BLOCK 1918, LOTS 1 & 7 (TAX SHEET #19)
EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY

SITE IMPROVEMENT DETAIL SHEET

TRI-COUNTY COMMUNITY ACTION AGENCY, INC.
T/A GAWANEY COMMUNITY ACTION PARTNERSHIP
110 COWANEY STREET, BRIDGETON, NEW JERSEY 08302

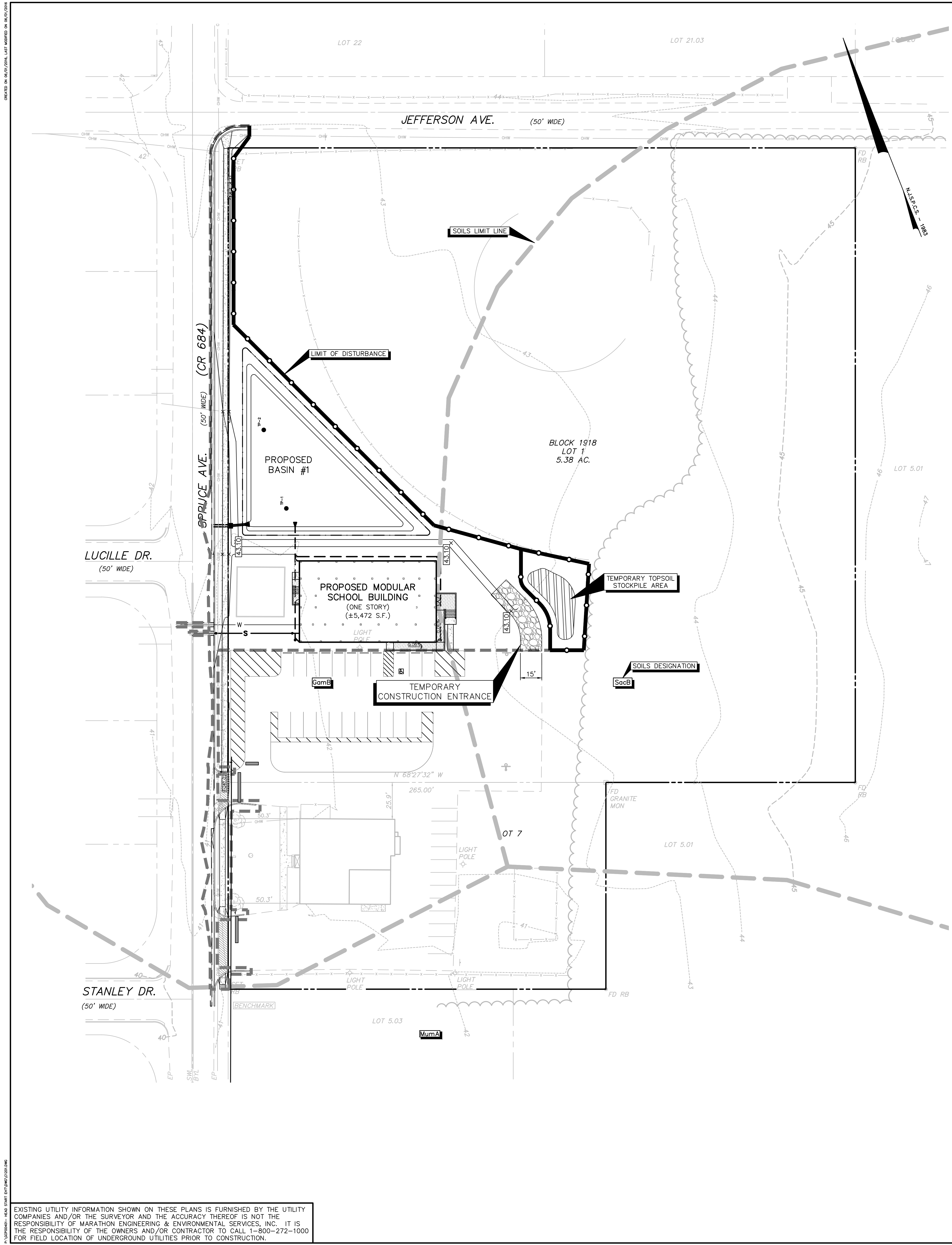
JASON T. SCIULLO, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 248040480000
PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 33100628400

DATE: 12/14/2016
GCP 004.01

MARATHON
Engineering & Environmental Services
Atlantic City Office
1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401
ph (609) 437-2100 fax (609) 437-2101
Certificate of Authorization #24GA27995700

SCALE: AS SHOWN
SHEET 6 OF 8

C1101



EROSION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL APPLY TO SUBSEQUENT OWNERS IF TITLE IS CONVEYED.
2. THIS PLAN IS TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.
3. SOIL EROSION AND SEDIMENT CONTROL IMPLEMENTATION SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY THE CAPE ATLANTIC CONSERVATION DISTRICT.
4. ALL TOPSOIL STORAGE AREAS SHALL BE REMOVED PRIOR TO FINAL OCCUPANCY OF THE BUILDING AND AREA RESTORED TO PRE-DEVELOPMENT CONDITIONS.
5. SOIL HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE MUST BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE BEFORE SEEDBED PREPARATION.
6. N.J.S.A. 4:24-39, ET SEQ. REQUIRES THAT UPON PERMANENT SITE STABILIZATION AND COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL APPLY TO THE SOIL CONSERVATION DISTRICT FOR FINAL COMPLIANCE INSPECTION TO CHECK THAT ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES.
7. SEE DRAWING NUMBER C1301 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS.

LEGEND

- TEMPORARY STANDARD SILT FENCE/LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE
- SOILS LIMIT LINE
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY STOCKPILE AREA
- SOILS DESIGNATION

SOILS DATA

- GcmB GALLOWAY LOAMY SAND 0-5% SLOPE "A/D" SOILS GROUP
 - MumA MULLICA SANDY LOAM 0-2% SLOPE "A/D" SOILS GROUP
 - SocB SASSAFRAS SANDY LOAM 0-2% SLOPE "B" SOILS GROUP
- ALL SOIL EROSION AND SEDIMENT CONTROL IMPLEMENTATION SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY THE CAPE ATLANTIC CONSERVATION DISTRICT.

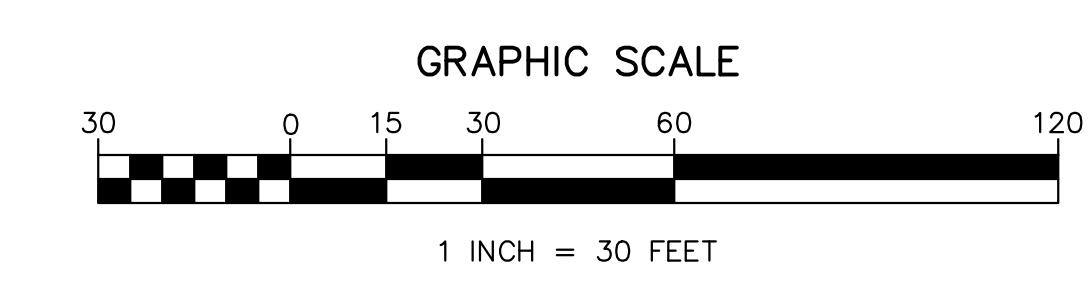
LIMIT OF DISTURBANCE

TOTAL AREA OF PROPOSED DISTURBANCE = 0.90 AC.

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

12/14/2016	7	REVISED TRENCH DETAIL PER COUNTY	LAT	KAI
12/01/2016	6	REVISED PER COUNTY COMMENTS	LAT	KAI
08/23/2016	5	REVISED PER EHTMUA & ATL. CO. REVIEW COMMENTS	MJF	KAI
07/18/2016	4	REVISED TO ADD FLOODLIGHT TO EXISTING LIGHT POLE	MJF	KAI
06/17/2016	3	REVISED PER BOARD'S PROFESSIONALS AND PUBLIC HEARING COMMENTS	LAT	KAI
01/13/2016	2	TOWNSHIP SUBMISSION	LAT	KAI
10/22/2015	1	INITIAL SUBMISSION	CWH	TEH
ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.

<p>EHT HEAD START FACILITY BLOCK 1918, LOTS 1 & 7 (TAX SHEET #19) EGG HARBOR TOWNSHIP, ATLANTIC COUNTY, NEW JERSEY</p>		 <p>1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401 ph (609) 437-2100 fax (609) 437-2101 Certificate of Authorization #24GA27995700</p>
<p>SOIL EROSION AND SEDIMENT CONTROL PLAN</p>		
<p>TRI-COUNTY COMMUNITY ACTION AGENCY, INC. T/A GATEWAY COMMUNITY ACTION PARTNERSHIP 110 COHANSEY STREET, BRIDGETON, NEW JERSEY 08302</p>		<p>SCALE: 1" = 30' DRAWN BY: LAT SHEET: 7 OF 8</p>
<p>JASON T. SCIULLO, P.E., P.P. PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 2400468000 PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 33L00629400</p>		<p>DATE: 12/14/2016 GCP 004.01</p>



C1201

