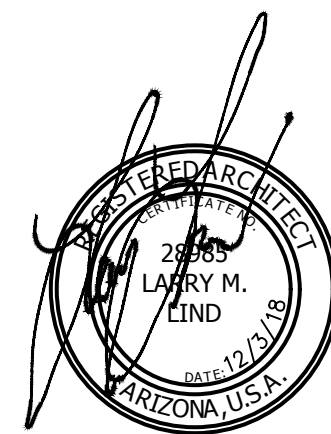


ROOF IMPROVEMENTS



PAGE MIDDLE SCHOOL

**110 EL MIRAGE STREET
PAGE, ARIZONA 86040**



EXPIRES: 3-21-22

CONSTRUCTION DOCUMENT SET 4/10/19



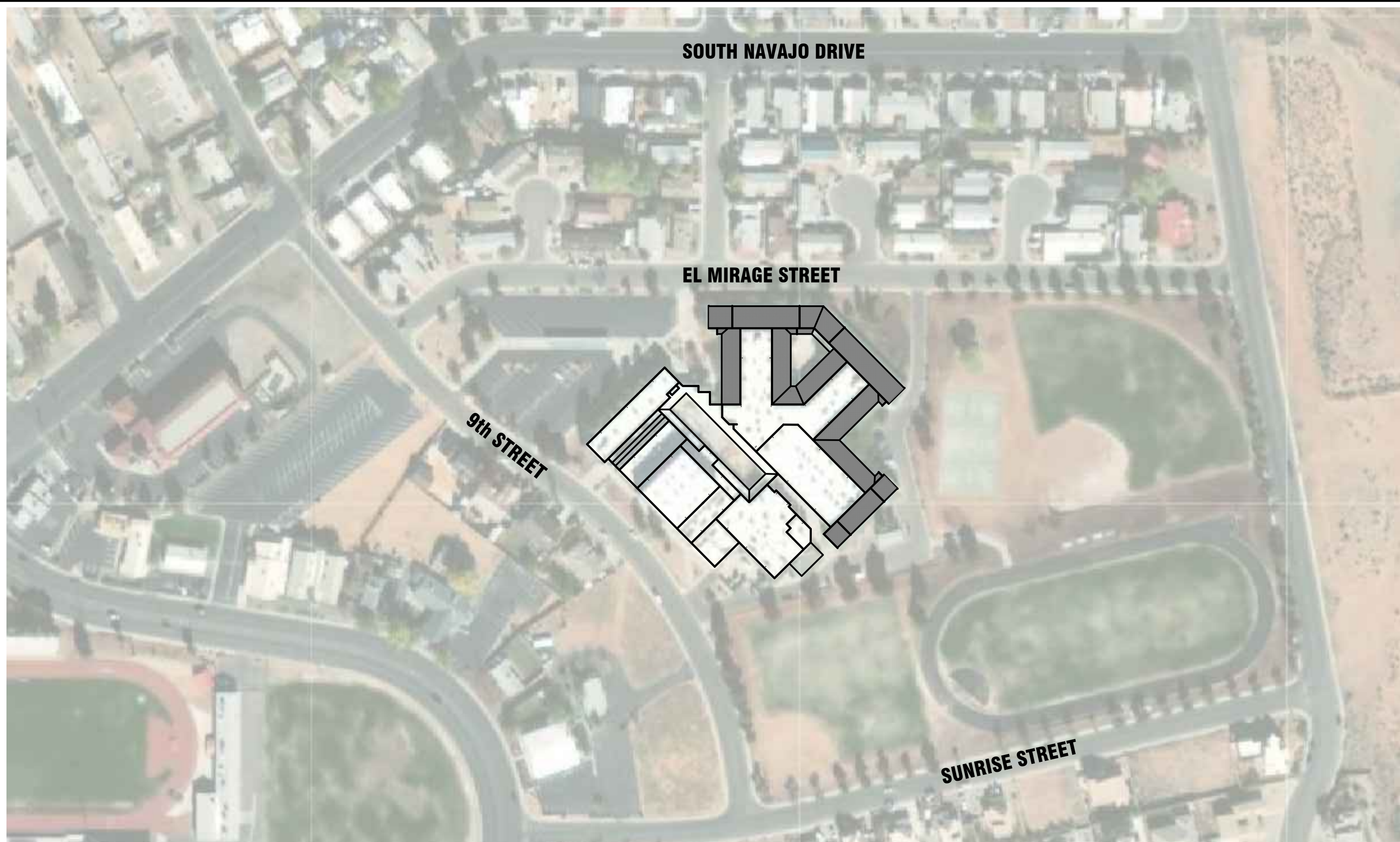
abbreviations

Table of abbreviations including A.B., ACT, A.F.F., AGGR., AL., ALT., APPROX., ARCH., BD., BLDG., BLK., B.L.G., BM., BOT., BTWN., B.U.R., B.W., C.J., CLG., CLKG., CLR., CMU, COL., CONC., CONSTR., CONT., C.T., DFG., DET., D.F., DIAG., DIA., DN., DS., DWG., E., (E), EA., E.J., E.I.F.S., EL / ELEV., ELEC., EMER., ENCL., EQ., EQUIP., E.W., E.W.C., EXP., EXT., F.A., F.D., F.D.C., F.E., F.E.C., F.F., F.H.C., FIN., F.L., FLR., FLOUOR., FND., F.O.B., F.O.C., F.S., FT., FTG., FURR., G.A., GALV., GEN., GL., GR., GYP., GYP. BD., H.B., H.C., H/C, HDWD., HDWE., H.M., HR., HT.

general notes

- A. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES HAVING JURISDICTION ON THIS PROJECT.
B. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED PRIOR TO PROCEEDING WITH ANY CONSTRUCTION SO INVOLVED.
C. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, CLEARANCES, AND CONDITIONS. ANY DISCREPANCIES OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
D. WE CERTIFY TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DESIGN OF THIS PROJECT COMPLIES WITH THE APPLICABLE PROVISIONS & REQUIREMENTS OF SECTION 34-4-1 TO 34-4-11 INCLUSIVE OF THE STATUTES OF THE STATE OF ARIZONA.
E. AS PER THE SPECIFICATION SECTION FOR PROJECT CLOSE-OUT, THE ARCHITECT WILL ISSUE A "CERTIFICATE OF SUBSTANTIAL COMPLETION OF THE PROJECT WORK".
F. ANY FUTURE CHANGE OR REVISIONS TO THESE PLANS SHALL BE SUBMITTED TO THE CITY FOR REVIEW, AND APPROVAL PRIOR TO COMMENCING ANY WORK.
G. ALL CHANGES AND/OR REVISIONS SHALL BE NOTED ON THE PLANS BY "CLOUDING" THE AREAS AFFECTED BY THESE REVISIONS OR CHANGES, AND WITH "DELTA'S" INDICATING THE NUMBER OF TIMES THE CHANGES OCCUR. IN ADDITION, THE DATE OF THESE CHANGES OR REVISIONS SHALL BE INDICATED. THIS DATA SHALL ALSO BE PLACED IN THE TITLE BLOCK, IN AN APPROPRIATE BULLETIN OR SCHEDULE.
H. SEE SPECIFICATIONS FOR PRIOR APPROVALS. IF NO PRIOR APPROVAL IS SUBMITTED THEN BID MUST BE TO ROOF MANUFACTURE SPECIFIED AS "BASIS OF DESIGN"

reference site plan



nailing schedule

Table with columns: DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE, SPACING. Includes entries for JOIST TO SILL OR GIRDER, TOE NAIL, 2x4s, 2x6s, 2x8s, 2x10s, 2x12s, RAFTERS, PLANKS, ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS, OTHER WALL SHEATHING, FASTENERS, EDGES, INTER. SUPPORTS, etc.

roofing general notes

- A. ALL NEW ROOF PENETRATIONS TO BE FULLY WATER TIGHT. REPAIR EXISTING METAL FLASHING/FASCIA AS REQUIRED. REFER TO DETAILS.
B. ROOF AREA NUMBERS ARE SHOWN FOR ROOF AREA LOCATION COMMUNICATION PURPOSES ONLY.
C. ALL MECHANICAL UNITS, EXHAUST FANS, MECHANICAL EQUIPMENT, ETC. MOUNTED ON ROOF SHALL BE PROVIDED WITH CRICKETING AS REQUIRED TO PROVIDE POSITIVE ROOF DRAINAGE, TYPICAL.
D. VERIFY ALL ROOF DECK CONDITIONS PRIOR TO ANY ROOFING ACTIVITIES.
E. COORDINATE ALL MECHANICAL ROOF MOUNTED EQUIPMENT FOR PROPER CURB REQUIREMENTS AND PENETRATION OPENINGS SO THAT PROPER FLASHING MAY BE INSTALLED AS TO CONFORM WITH THE MANUFACTURER'S STANDARD DETAILS / INSTALLATION REQUIREMENTS.
F. NOT ALL PENETRATIONS MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY. FOR TYPICAL VENT AND PIPE PENETRATIONS THROUGH ROOF MEMBRANE, SEE TYPICAL DETAILS.
G. REFER TO PLANS FOR LOCATIONS OF NEW COPING, GUTTERS, AND ASSOCIATED DETAILS.
H. ALL SHEET METAL FABRICATIONS TO COMPLY WITH THE LATEST SMACNA ARCHITECTURAL SHEET METAL MANUAL - TYPICAL.

general structural notes

- CONTRACTOR IS RESPONSIBLE TO VISIT SITE TO ASCERTAIN THE FULL EXTENT OF THE WORK REQUIRED. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO ASCERTAIN FULL EXTENT OF THE WORK REQUIRED THROUGH VISUAL INSPECTION OF EXISTING CONDITIONS AND THAT DETAILED AND SPECIFIED WITHIN THE CONTRACT DOCUMENTS.
L. ROOF SLOPED INDICATED ARE APPROXIMATE. CONTRACTOR TO VERIFY IF SLOPE IS PROVIDED IN THE STRUCTURE OF BUILDING OR IF TAPERED INSULATION WILL BE REQUIRED TO PROVIDE SLOPE.
M. CONTRACTOR TO PROVIDE WARRANTED WATER TIGHT ROOF CONSTRUCTION AND FLASHING AT ALL NEW ROOFING INSTALLATIONS EXCEPT AT EXISTING ROOFING TO REMAIN. CONTRACTOR TO VISUALLY INSPECT ALL METAL COPING TO REMAIN FOR POTENTIAL SOURCES OF LEAKS AND PROVIDE REPORT TO ARCHITECT FOR REVIEW.
N. CONTRACTOR IS RESPONSIBLE FOR INSPECTING INTERIOR ROOF LEADERS TO ENSURE THAT THEY ARE NOT LEAKING. IF LEAKS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT.

project information

PROJECT NAME: ROOF IMPROVEMENTS
OWNER: PAGE UNIFIED SCHOOL DISTRICT
PROJECT SITE: PAGE MIDDLE SCHOOL
ARCHITECT: ARCHITECTNOLOGY INC.



page unified school district #8

GOVERNING BOARD: BOARD PRESIDENT - DESIREE FOWLER
CLERK - ED FRANKLIN
BOARD MEMBER - DELORES MCKERRY
BOARD MEMBER - ROBERT CANDELARIA
BOARD MEMBER - SANDRA K. KIDMAN
SUPERINTENDENT: ROBERT B. VARNER, Ed.S



applicable codes

- ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES:
2006 INTERNATIONAL RESIDENTIAL CODE
2006 INTERNATIONAL PLUMBING CODE
2005 NATIONAL ELECTRICAL CODE
2005 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL FUEL GAS CODE

sheet index

- G0.0 COVER SHEET
G1.0 PROJECT INFORMATION / REFERENCE SITE PLAN
A1.0 OVERALL ROOF PLAN
A1.1 BUILDINGS 1003 & 1002 ROOF DEMOLITION PLAN
A1.2 BUILDING 1001 ROOF DEMOLITION PLAN
A2.1 BUILDINGS 1003 & 1002 ROOF PLAN
A2.2 BUILDING 1001 ROOF PLAN
A3.1 DETAILS

scope of work description

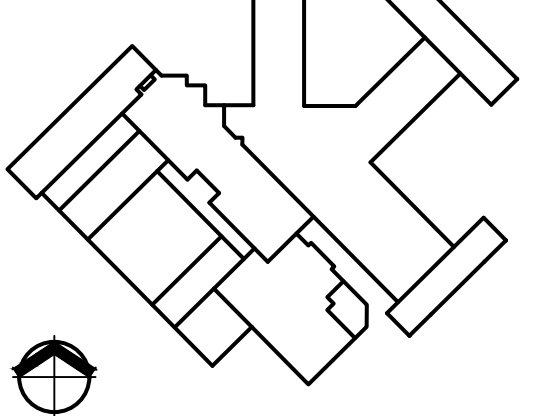
BUILDING 1003 AND 1002
REMOVE EXISTING LOW SLOPE ROOF SYSTEM TO THE DECK SUBSTRATE AND DISPOSE OF PER LOCAL REQUIREMENTS, INCLUDING ALL ACCESSORIES SUCH AS EXISTING TERMINATION BARS AND SECONDARY FLASHINGS. INSPECT DECK SUBSTRATE AND MAKE REPAIRS WHERE REQUIRED FOLLOWING ALL LOCAL BUILDING CODES AND ACCEPTED INDUSTRY WORKMANSHIP PRACTICES.
CONTRACTOR SHALL COORDINATE WITH DISTRICT AND LOCATE AND MARK ROOF TOP UTILITY ITEMS TO BE DEMOLISHED DURING DEMOLITION OF THE ROOF - LOW VOLTAGE, ELECTRICAL, PLUMBING, VENTS, CURBS, ETC. AND ABANDONED GAS LINES. REMOVE AND DISCARD METAL PARAPET CAP. ADJUST MECHANICAL EQUIPMENT CURB HEIGHTS AS REQUIRED TO MEET ALL LOCAL BUILDING CODES.
INSTALL NEW APPROVED ROOF SYSTEM (SEE SPECIFICATIONS) FOLLOWING ALL MANUFACTURER RECOMMENDATIONS AND PRODUCT SPECIFICATIONS. NEW ROOF INSTALLATION TO MEET ALL LOCAL CODES INCLUDING THERMAL INSULATION RATING (R-VALUE). INSTALL NEW METAL ACCESSORIES INCLUDING BUT NOT LIMITED TO TERMINATION BARS AND SECONDARY FLASHINGS. NEW ROOF MEMBRANE TO EXTEND UP PARAPET WALL AND TERMINATE UNDER NEW METAL PARAPET CAP. FINISH TO MATCH EXISTING.
REMOVE ALL EXISTING PARAPET WALL SEALANTS, TOOL EXISTING SEALANT AND CLEAN AREA, INSTALL NEW APPROVED SEALANT PER MANUFACTURER SPECIFICATION.
PREP ALL COATED AND EXPOSED PARAPET CMU BLOCK FOLLOWING ALL APPROVED COATING MANUFACTURER RECOMMENDATIONS/DIRECTIONS AND SPECIFICATIONS. CONTRACTOR TO COAT THE EXTERIOR TO ROOF SURFACES APPROVED COATING FOLLOWING ALL MANUFACTURER TWO COAT SYSTEM RECOMMENDATIONS AND SPECIFICATIONS. CONTRACTOR TO COLOR MATCH EXISTING FINISH.
RAISE ALL MECHANICAL CURBS AS REQUIRED TO MEET MINIMUM 8" FLASHING. CONTRACTOR TO RELEVET ANY MECHANICAL EQUIPMENT THAT WAS MOUNTED OR MODIFIED DURING ROOFING ACTIVITIES.
ALL INCIDENTAL MECHANICAL, PLUMBING AND ELECTRICAL WORK TO BE PERFORMED BY LICENSED CONTRACTOR

REFER TO DRAWINGS AND SPECIFICATIONS FOR MORE DETAILED WORK SCOPE
SEAL ANY OPEN DUCTWORK SEAMS LOCATED ON ROOF.
CONTRACTOR TO REPLACE ALL PIPE AND CONDUIT SUPPORTS LOCATED ON THE ROOF - SEE DETAILS FOR DURA-BLOCK IN THE DETAIL SHEET.
REPAIR GAS LINES YELLOW - VERIFY GAS COLOR WITH DISTRICT.
PROVIDE NEW SURFACE MOUNTED COUNTER FLASHING AT INTERIOR WALLS THAT ARE NOT WRAPPED.
COAT ROOF SECTION SHOWN PER SPECIFICATIONS
BUILDING 1001
REMOVE AND DISCARD METAL PARAPET CAP.

ROOF IMPROVEMENTS
PAGE MIDDLE SCHOOL
101 EL MIRAGE STREET
PAGE, AZ 86040

INSTALL PEEL AND STICK MEMBRANE ON EXISTING NAILER PER SPECIFICATIONS
REMOVE ALL EXISTING PARAPET WALL SEALANTS, TOOL EXISTING SEALANT AND CLEAN AREA, INSTALL NEW APPROVED SEALANT PER MANUFACTURER SPECIFICATION.
SEAL ANY OPEN DUCTWORK SEAMS LOCATED ON ROOF.
CLEAR ROOF DRAINS AND ENSURE PROPER OPERATION - PROVIDE NEW DARIN BASKETS

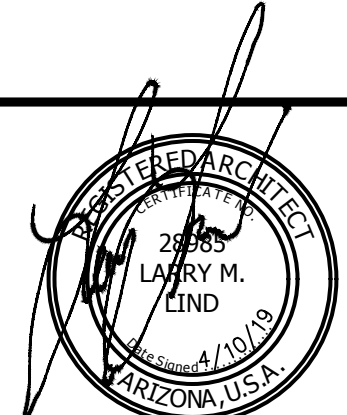
KEY PLAN



© 2019 - Copyright - All designs, details, graphic and written material illustrated herein constitutes the original unpublished work of the Architect and may not be copied, published, reproduced electronically or by any other means, used on other projects for construction or recording without the written consent of the Architect. All rights reserved.

GENERAL INFORMATION SITE PLAN

DRAWING NUMBER G1.1



EXPIRES: 3-21-22

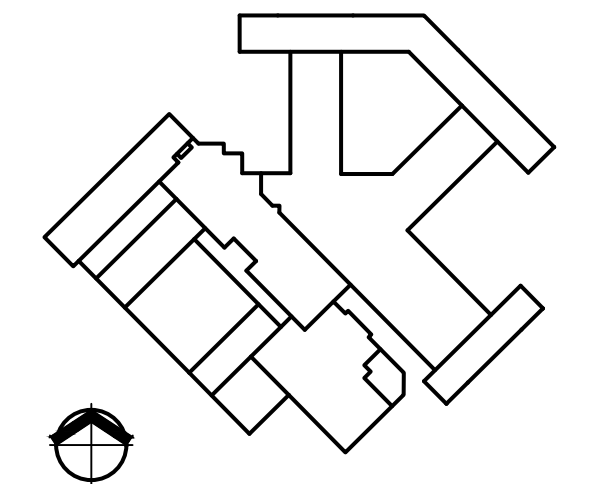
**ROOF IMPROVEMENTS
 PAGE MIDDLE SCHOOL
 101 EL MIRAGE STREET
 PAGE, AZ 86040**

PROJECT NO.: 18134.40
 DRAWN BY: D. LIND
 CHECKED BY: L. LIND
 DATE: APRIL 10, 2019

REVISIONS

NO.	DATE	COMMENT
▲		
▲		
▲		
▲		

KEY PLAN



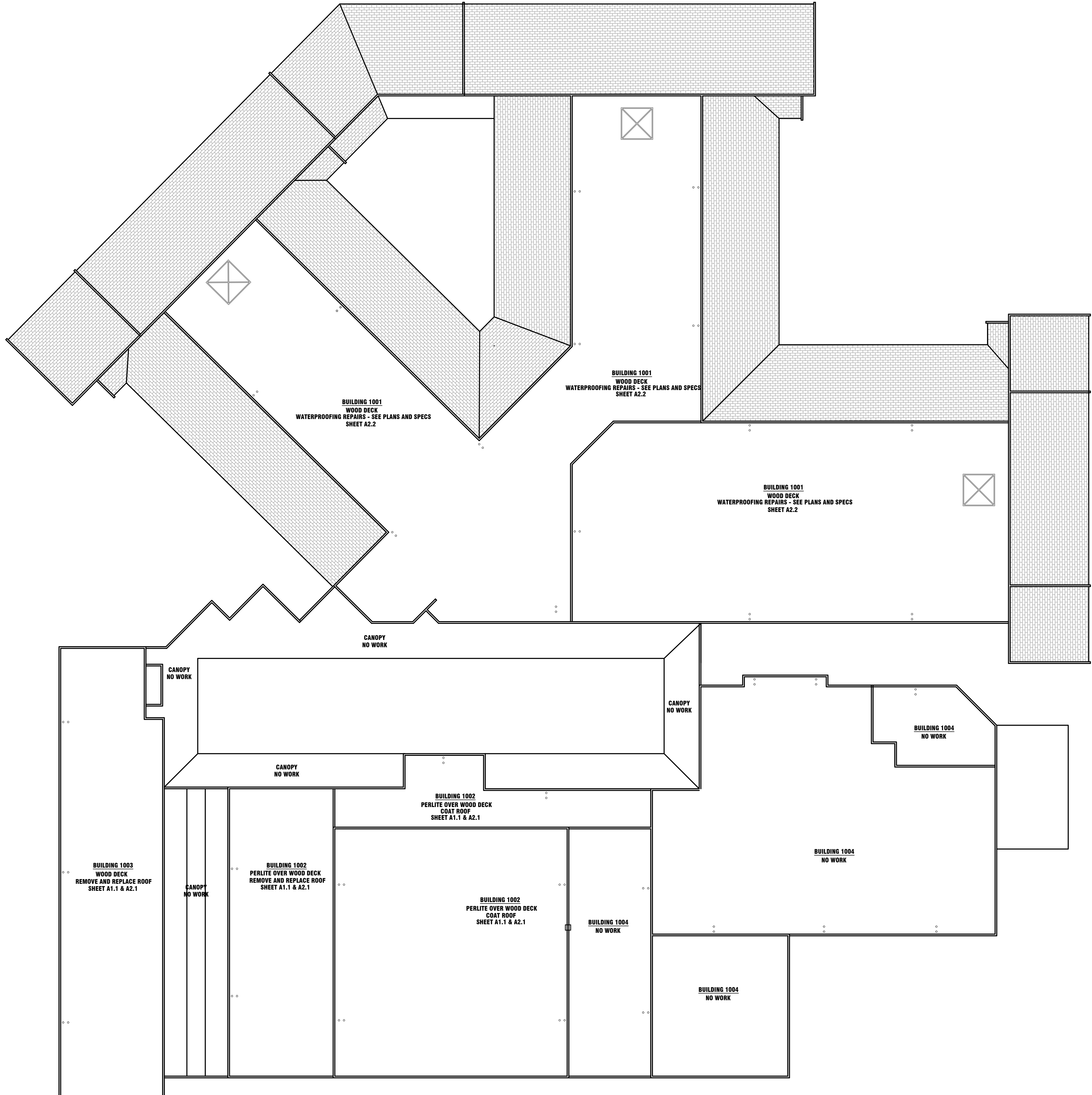
© 2019 - Copyright - All designs, details, graphic and written material illustrated herein constitutes the original unpublished work of the Architect and may not be copied, published, reproduced electronically or by any other means, used on other projects for construction or recording without the written consent of the Architect. All rights reserved.

DRAWING TITLE

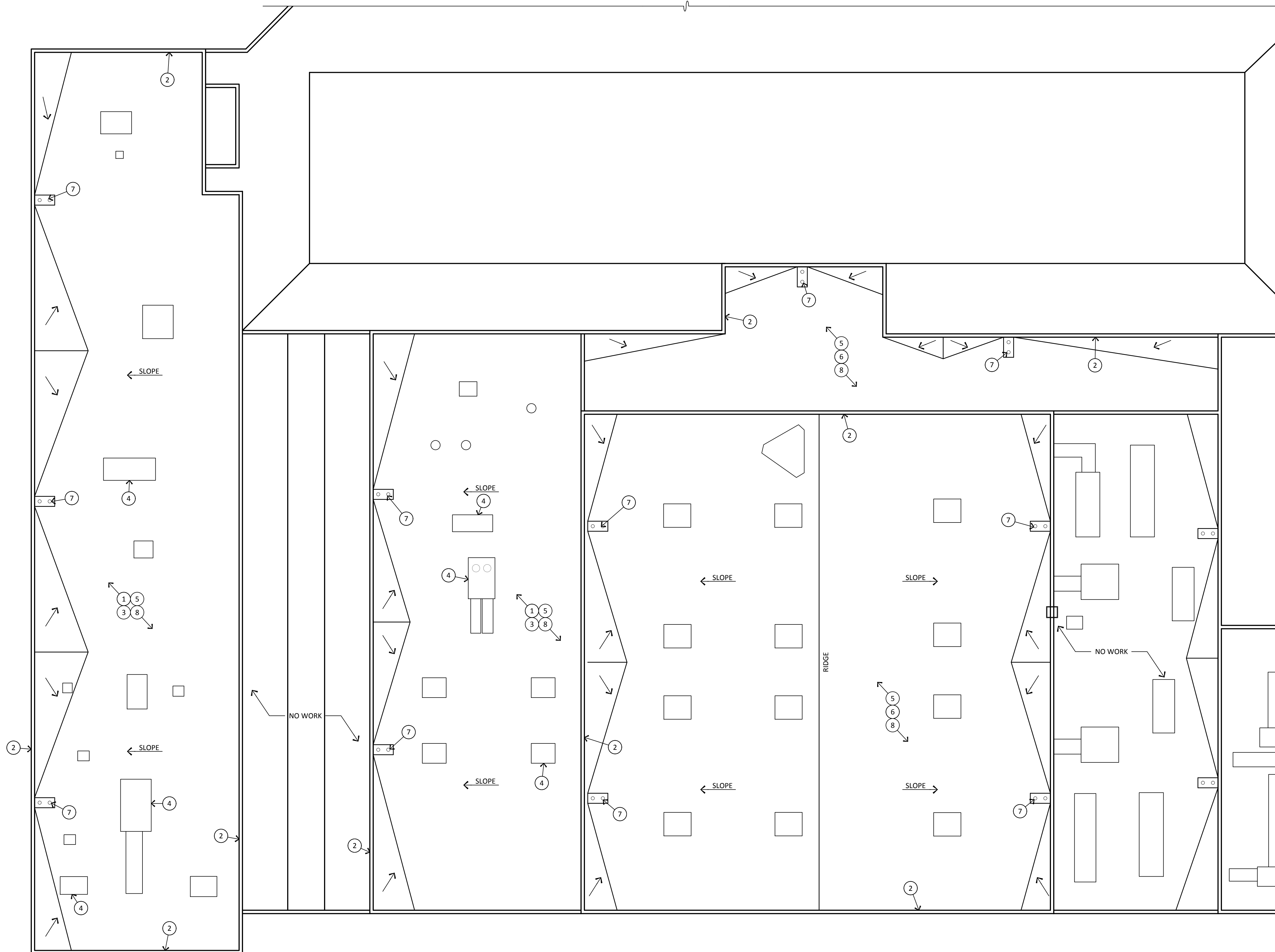
OVERALL ROOF PLAN

DRAWING NUMBER

A1.0



OVERALL ROOF PLAN
 scale: 1"=20'-0"

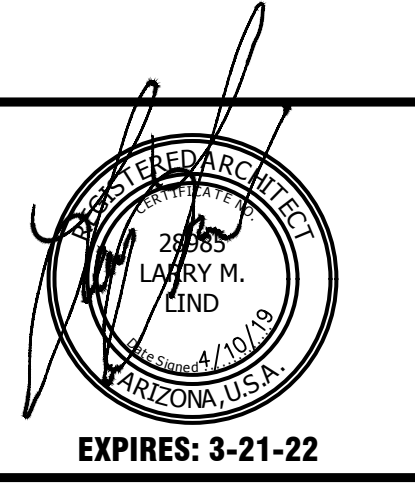


keyed notes

1. REMOVE EXISTING ROOFING SYSTEM TO DECK. INSPECT DECK AND MAKE ANY NECESSARY REPAIRS
2. REMOVE EXISTING METAL COPING AND DRIP EDGE
3. REMOVE ALL METAL FLASHINGS, REGLETS, AND COUNTER FLASHINGS - TYPICAL - SEE SPECIFICATIONS
4. VERIFY EXISTING ROOFTOP MECHANICAL EQUIPMENT CURB HEIGHT IS SUFFICIENT FOR NEW ROOF HEIGHT. ENSURE A MINIMUM 8" CURB - TYPICAL - SEE SPECIFICATIONS.
5. REMOVE ALL ROOF TOP SEALANTS, CAULKING PARAPET CAP JOINTS ETC. SEE SPECIFICATIONS
6. EXISTING ROOF TO REMAIN
7. CLEAR ALL ROOF DRAIN LINES AND ENSURE PROPER OPERATION
8. PROTECT ROOFTOP CONDUIT AND PIPE LINES DURING CONSTRUCTION ACTIVITIES

general notes

- A. CONTRACTOR TO REVIEW SPECIFICATIONS PRIOR TO BID. NOTIFY ARCHITECT OF ANY CONFLICTS.
- B. KEYNOTES ARE TYPICAL THROUGHOUT
- C. ANY INCIDENTAL MECHANICAL, PLUMBING OR ELECTRICAL ASSOCIATED WITH ROOFTOP EQUIPMENT SHALL BE PERFORMED BY PROPER LICENSED SUBCONTRACTORS UNDER THIS ROOFING CONTRACT - ALL WORK SHALL BE PERFORMED TO CURRENT CODES
- D. ADJUST EXISTING ELECTRICAL CONDUIT, CONDENSATE AND UTILITY LINES AS REQUIRED FOR NEW ROOF HEIGHT. PROVIDE NEW DURA BLOK SUPPORTS - TYPICAL - SEE SPECIFICATIONS.

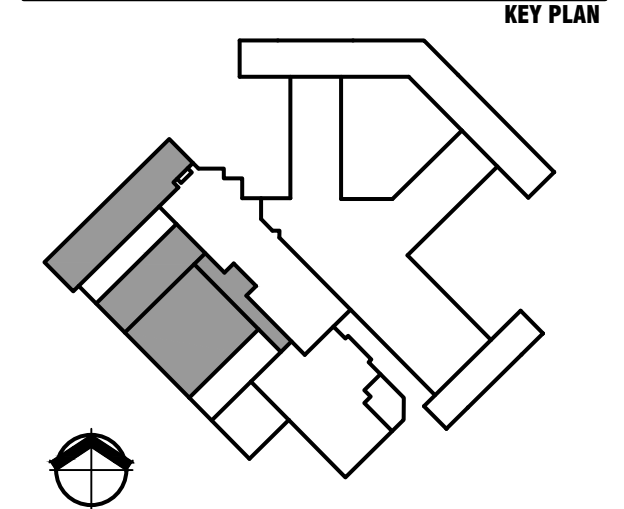


ROOF IMPROVEMENTS
PAGE MIDDLE SCHOOL
101 EL MIRAGE STREET
PAGE, AZ 86040

PROJECT NO.: 18134.40
DRAWN BY: D. LIND
CHECKED BY: L. LIND
DATE: APRIL 10, 2019

REVISIONS

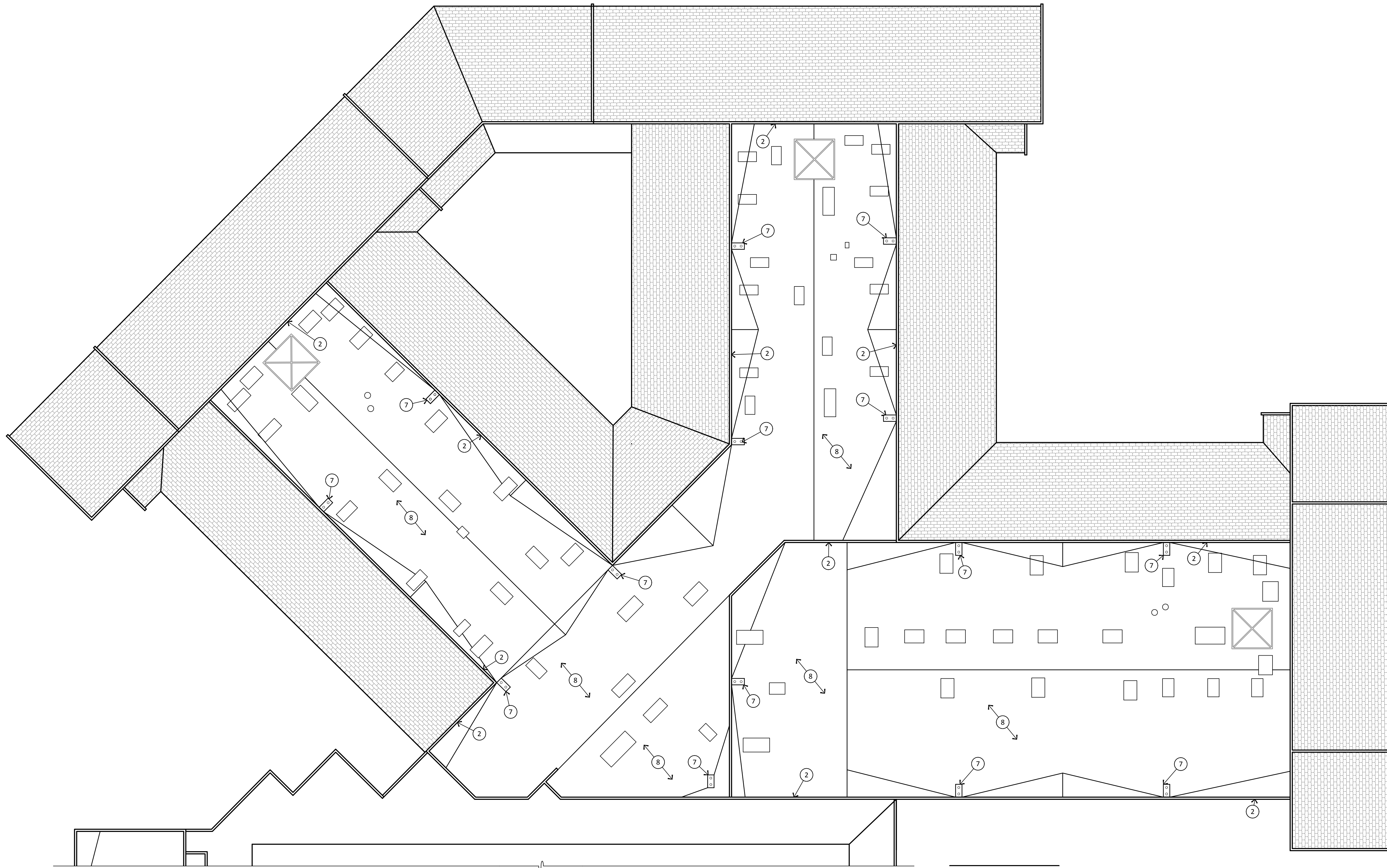
NO.	DATE	COMMENT
△		
△		
△		
△		



© 2019 - Copyright - All designs, details, graphic and writers material illustrated herein constitutes the original unpublished work of the Architect and may not be copied, published, reproduced electronically or by any other means, used on other projects for construction or recording without the written consent of the Architect. All rights reserved.

DRAWING TITLE
**BUILDING 1002 AND 1003
ROOF DEMOLITION PLAN**

DRAWING NUMBER
A1.1

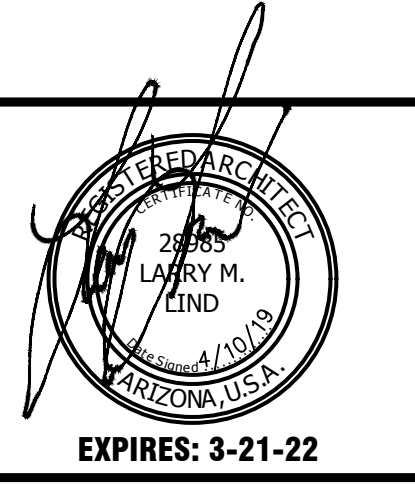


keyed notes

1. REMOVE EXISTING ROOFING SYSTEM TO DECK. INSPECT DECK AND MAKE ANY NECESSARY REPAIRS
2. REMOVE EXISTING METAL COPING AND DRIP EDGE
3. REMOVE ALL METAL FLASHINGS, REGLETS, AND COUNTER FLASHINGS - TYPICAL - SEE SPECIFICATIONS
4. VERIFY EXISTING ROOFTOP MECHANICAL EQUIPMENT CURB HEIGHT IS SUFFICIENT FOR NEW ROOF HEIGHT. ENSURE A MINIMUM 8" CURB - TYPICAL - SEE SPECIFICATIONS.
5. REMOVE ALL ROOF TOP SEALANTS, CAULKING PARAPET CAP JOINTS ETC. SEE SPECIFICATIONS
6. EXISTING ROOF TO REMAIN
7. CLEAR ALL ROOF DRAIN LINES AND ENSURE PROPER OPERATION
8. PROTECT ROOFTOP CONDUIT AND PIPE LINES DURING CONSTRUCTION ACTIVITIES

general notes

- A. CONTRACTOR TO REVIEW SPECIFICATIONS PRIOR TO BID. NOTIFY ARCHITECT OF ANY CONFLICTS.
- B. KEYNOTES ARE TYPICAL THROUGHOUT
- C. ANY INCIDENTAL MECHANICAL, PLUMBING OR ELECTRICAL ASSOCIATED WITH ROOFTOP EQUIPMENT SHALL BE PERFORMED BY PROPER LICENSED SUBCONTRACTORS UNDER THIS ROOFING CONTRACT - ALL WORK SHALL BE PERFORMED TO CURRENT CODES
- D. ADJUST EXISTING ELECTRICAL CONDUIT, CONDENSATE AND UTILITY LINES AS REQUIRED FOR NEW ROOF HEIGHT. PROVIDE NEW DURA BLOK SUPPORTS - TYPICAL - SEE SPECIFICATIONS.

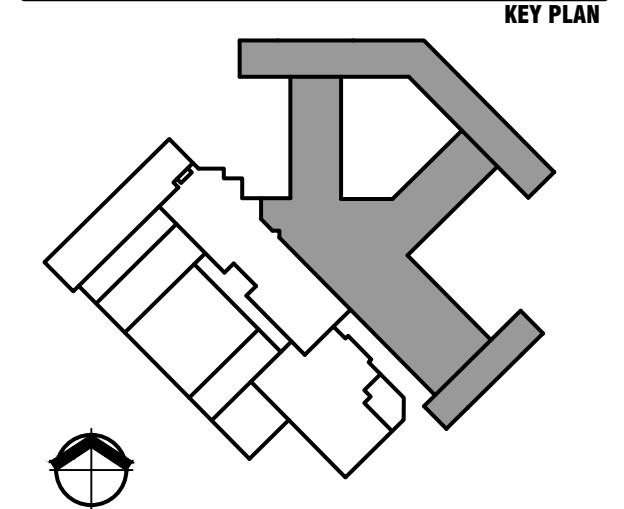


ROOF IMPROVEMENTS
PAGE MIDDLE SCHOOL
 101 EL MIRAGE STREET
 PAGE, AZ 86040

PROJECT NO.: 18134.40
DRAWN BY: D. LIND
CHECKED BY: L. LIND
DATE: APRIL 10, 2019

REVISIONS

NO.	DATE	COMMENT
▲		
▲		
▲		
▲		



© 2019 - Copyright - All designs, details, graphic and written material illustrated herein constitutes the original unpublished work of the Architect and may not be copied, published, reproduced electronically or by any other means, used on other projects for construction or recording without the written consent of the Architect. All rights reserved.

DRAWING TITLE
BUILDING 1001
ROOF DEMOLITION PLAN

DRAWING NUMBER
A1.2

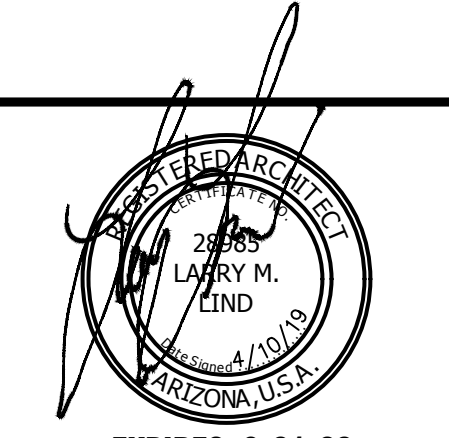
BUILDING 1001 ROOF DEMOLITION PLAN
 scale: 3/32"=1'-0"

keyed notes

1. INSTALL NEW ROOF SYSTEM ON COVER BOARD OVER NEW INSULATION - SEE SPECIFICATIONS
2. PROVIDE NEW METAL COPING - PAINT PER DISTRICT STANDARDS - SEE SPECIFICATIONS.
3. PROVIDE NEW METAL FLASHINGS, REGLETS, AND COUNTER FLASHINGS - TYPICAL - SEE SPECIFICATIONS.
4. VERIFY EXISTING ROOFTOP MECHANICAL EQUIPMENT CURB HEIGHT IS SUFFICIENT FOR NEW ROOF HEIGHT. ENSURE A MINIMUM 8" CURB - TYPICAL - SEE SPECIFICATIONS.
5. REPLACE ALL ROOF TOP SEALANTS, CAULKING PARAPET CAP JOINTS ETC. SEE SPECIFICATIONS
6. CLEAR ALL ROOF DRAIN LINES AND ENSURE PROPER OPERATION - PROVIDE NEW DRAIN BASKETS - TYPICAL - SEE SPECIFICATIONS
7. PROVIDE NEW DURA-BLOK SUPPORTS FOR ALL ROOFTOP CONDUIT AND PIPE LINES - TYPICAL - SEE SPECIFICATIONS
8. PROVIDE NEW SUMPS AS REQUIRED AT EXISTING DRAIN LOCATIONS TO ACCOMMODATE NEW ROOF HEIGHT.
9. EXTEND ALL MECHANICAL CONDENSATE LINES AS REQUIRED TO NEAREST PRACTICAL ROOF DRAIN.
10. PROVIDE BLOCK FILL AND SEAL ROOF SIDE OF PARAPET
11. INSTALL NEW HIGH TEMPERATURE MEMBRANE OVER EXISTING NAILER PRIOR TO INSTALLATION OF NEW COPING. PAINT TO MATCH DISTRICT STANDARDS. SEE SPECIFICATIONS - TYPICAL
12. REPAIR MECHANICAL CURBS AND PENETRATIONS AS REQUIRED TO WATERPROOF THE STRUCTURE
13. PROVIDE ROOF COATING - SEE SPECIFICATIONS
14. COAT INTERIOR SIDE OF PARAPET WALLS - SEE SPECIFICATIONS

general notes

- A. CONTRACTOR TO REVIEW SPECIFICATIONS PRIOR TO BID. NOTIFY ARCHITECT OF ANY CONFLICTS.
- B. KEYNOTES ARE TYPICAL THROUGHOUT
- C. ANY INCIDENTAL MECHANICAL, PLUMBING OR ELECTRICAL ASSOCIATED WITH ROOFTOP EQUIPMENT SHALL BE PERFORMED BY PROPER LICENSED SUBCONTRACTORS UNDER THIS ROOFING CONTRACT - ALL WORK SHALL BE PERFORMED TO CURRENT CODES
- D. ADJUST EXISTING ELECTRICAL CONDUIT, CONDENSATE AND UTILITY LINES AS REQUIRED FOR NEW ROOF HEIGHT. PROVIDE NEW DURA BLOK SUPPORTS - TYPICAL - SEE SPECIFICATIONS.



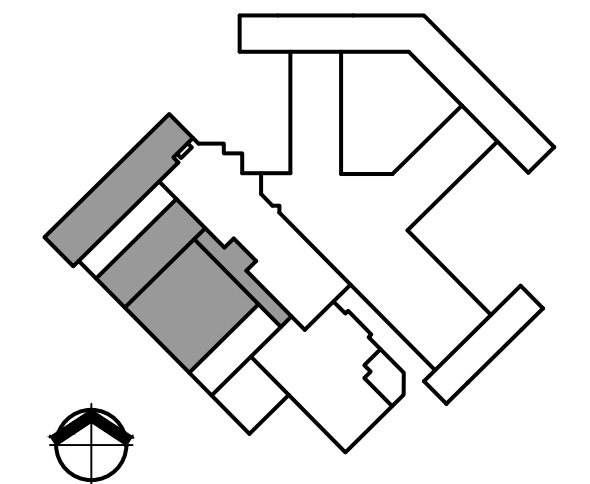
EXPIRES: 3-21-22

**ROOF IMPROVEMENTS
PAGE MIDDLE SCHOOL
101 EL MIRAGE STREET
PAGE, AZ 86040**

PROJECT NO.: 18134.40
 DRAWN BY: D. LIND
 CHECKED BY: L. LIND
 DATE: APRIL 10, 2019

REVISIONS		
NO.	DATE	COMMENT

KEY PLAN

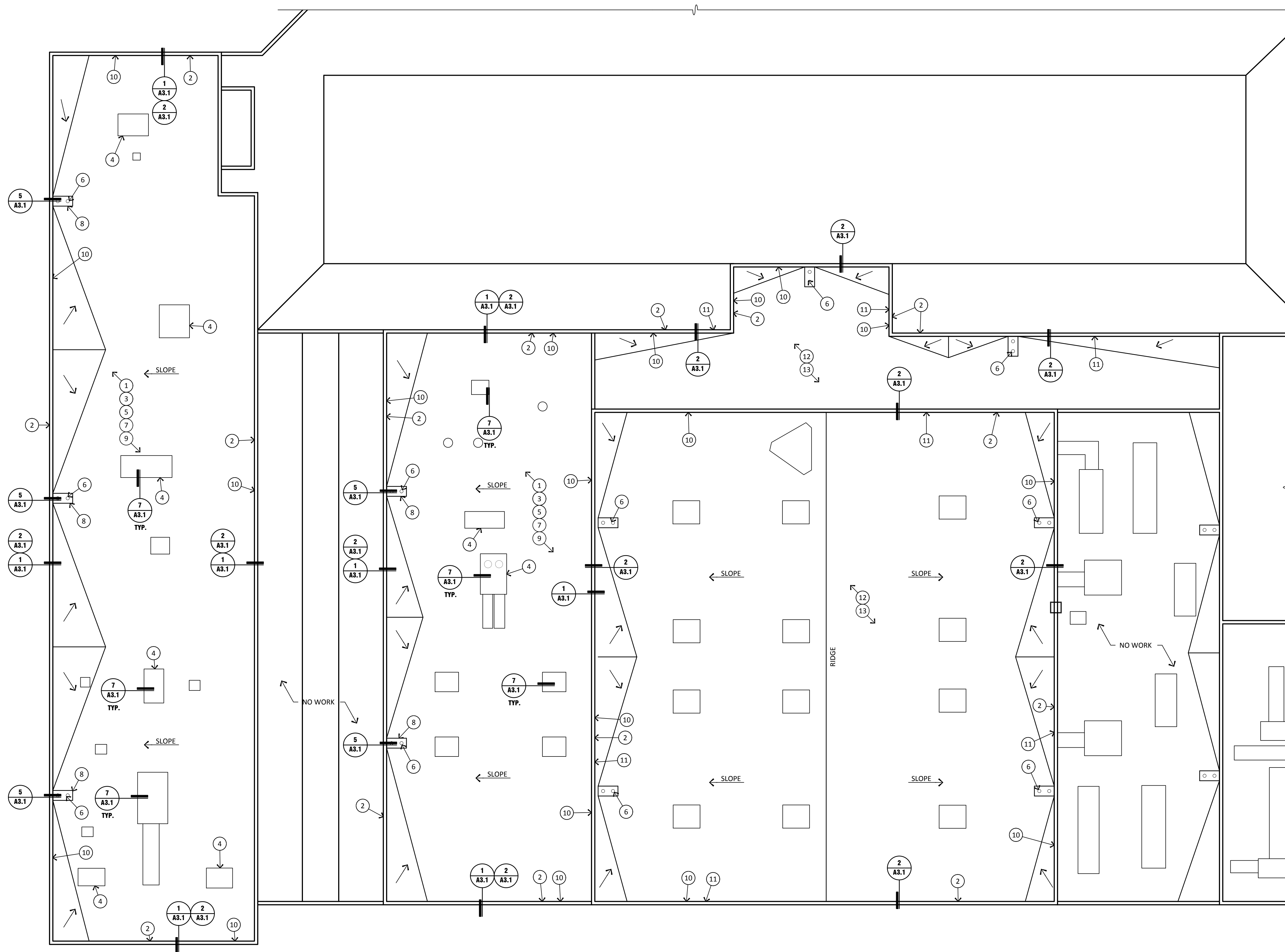


© 2019 - Copyright - All designs, details, graphic and written material illustrated herein constitutes the original unpublished work of the Architect and may not be copied, published, reproduced electronically or by any other means, used on other projects for construction or recording without the written consent of the Architect. All rights reserved.

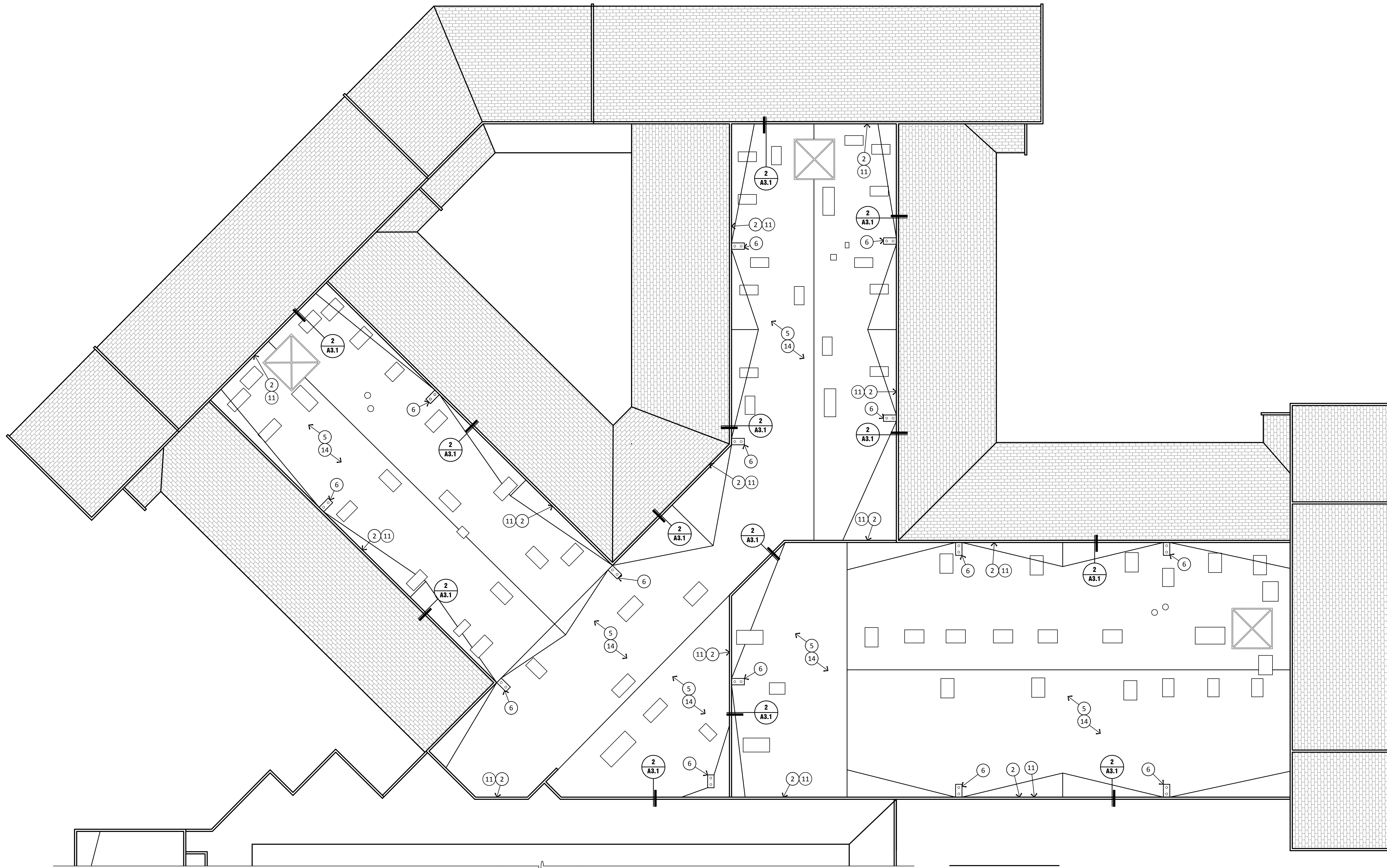
**BUILDING 1002 AND 1003
ROOF PLAN**

DRAWING NUMBER

A2.1



BUILDING 1002 AND 1003 ROOF PLAN
 scale: 3/32"=1'-0"



keyed notes

1. INSTALL NEW ROOF SYSTEM ON COVER BOARD OVER NEW INSULATION - SEE SPECIFICATIONS
2. PROVIDE NEW METAL COPING - PAINT PER DISTRICT STANDARDS - SEE SPECIFICATIONS.
3. PROVIDE NEW METAL FLASHINGS, REGLETS, AND COUNTER FLASHINGS - TYPICAL - SEE SPECIFICATIONS.
4. VERIFY EXISTING ROOFTOP MECHANICAL EQUIPMENT CURB HEIGHT IS SUFFICIENT FOR NEW ROOF HEIGHT. ENSURE A MINIMUM 8" CURB - TYPICAL - SEE SPECIFICATIONS.
5. REPLACE ALL ROOF TOP SEALANTS, CALKING PARAPET CAP JOINTS ETC. SEE SPECIFICATIONS
6. CLEAR ALL ROOF DRAIN LINES AND ENSURE PROPER OPERATION - PROVIDE NEW DRAIN BASKETS - TYPICAL - SEE SPECIFICATIONS
7. PROVIDE NEW DURA-BLOK SUPPORTS FOR ALL ROOFTOP CONDUIT AND PIPE LINES - TYPICAL - SEE SPECIFICATIONS
8. PROVIDE NEW SUMPS AS REQUIRED AT EXISTING DRAIN LOCATIONS TO ACCOMMODATE NEW ROOF HEIGHT.
9. EXTEND ALL MECHANICAL CONDENSATE LINES AS REQUIRED TO NEAREST PRACTICAL ROOF DRAIN.
10. PROVIDE BLOCK FILL AND SEAL ROOF SIDE OF PARAPET
11. INSTALL NEW HIGH TEMPERATURE MEMBRANE OVER EXISTING NAILER PRIOR TO INSTALLATION OF NEW COPING. PAINT TO MATCH DISTRICT STANDARDS. SEE SPECIFICATIONS - TYPICAL
12. REPAIR MECHANICAL CURBS AND PENETRATIONS AS REQUIRED TO WATERPROOF THE STRUCTURE
13. PROVIDE ROOF COATING - SEE SPECIFICATIONS
14. COAT INTERIOR SIDE OF PARAPET WALLS - SEE SPECIFICATIONS

general notes

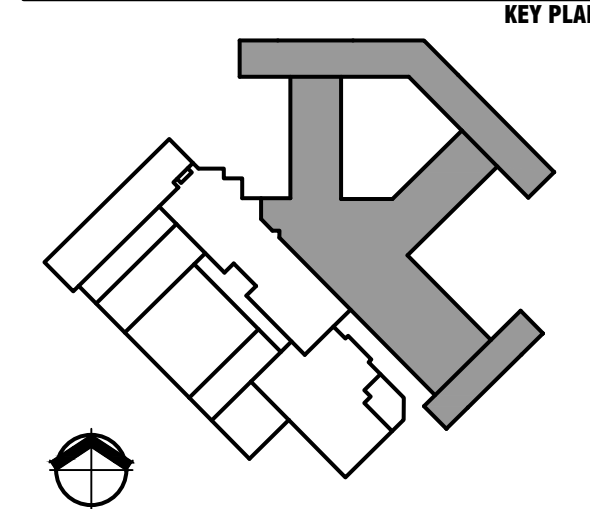
- A. CONTRACTOR TO REVIEW SPECIFICATIONS PRIOR TO BID. NOTIFY ARCHITECT OF ANY CONFLICTS.
- B. KEYNOTES ARE TYPICAL THROUGHOUT
- C. ANY INCIDENTAL MECHANICAL, PLUMBING OR ELECTRICAL ASSOCIATED WITH ROOFTOP EQUIPMENT SHALL BE PERFORMED BY PROPER LICENSED SUBCONTRACTORS UNDER THIS ROOFING CONTRACT - ALL WORK SHALL BE PERFORMED TO CURRENT CODES
- D. ADJUST EXISTING ELECTRICAL CONDUIT, CONDENSATE AND UTILITY LINES AS REQUIRED FOR NEW ROOF HEIGHT. PROVIDE NEW DURA BLOK SUPPORTS - TYPICAL - SEE SPECIFICATIONS.



ROOF IMPROVEMENTS
PAGE MIDDLE SCHOOL
 101 EL MIRAGE STREET
 PAGE, AZ 86040

PROJECT NO.: 18134.40
DRAWN BY: D. LIND
CHECKED BY: L. LIND
DATE: APRIL 10, 2019

REVISIONS		
NO.	DATE	COMMENT

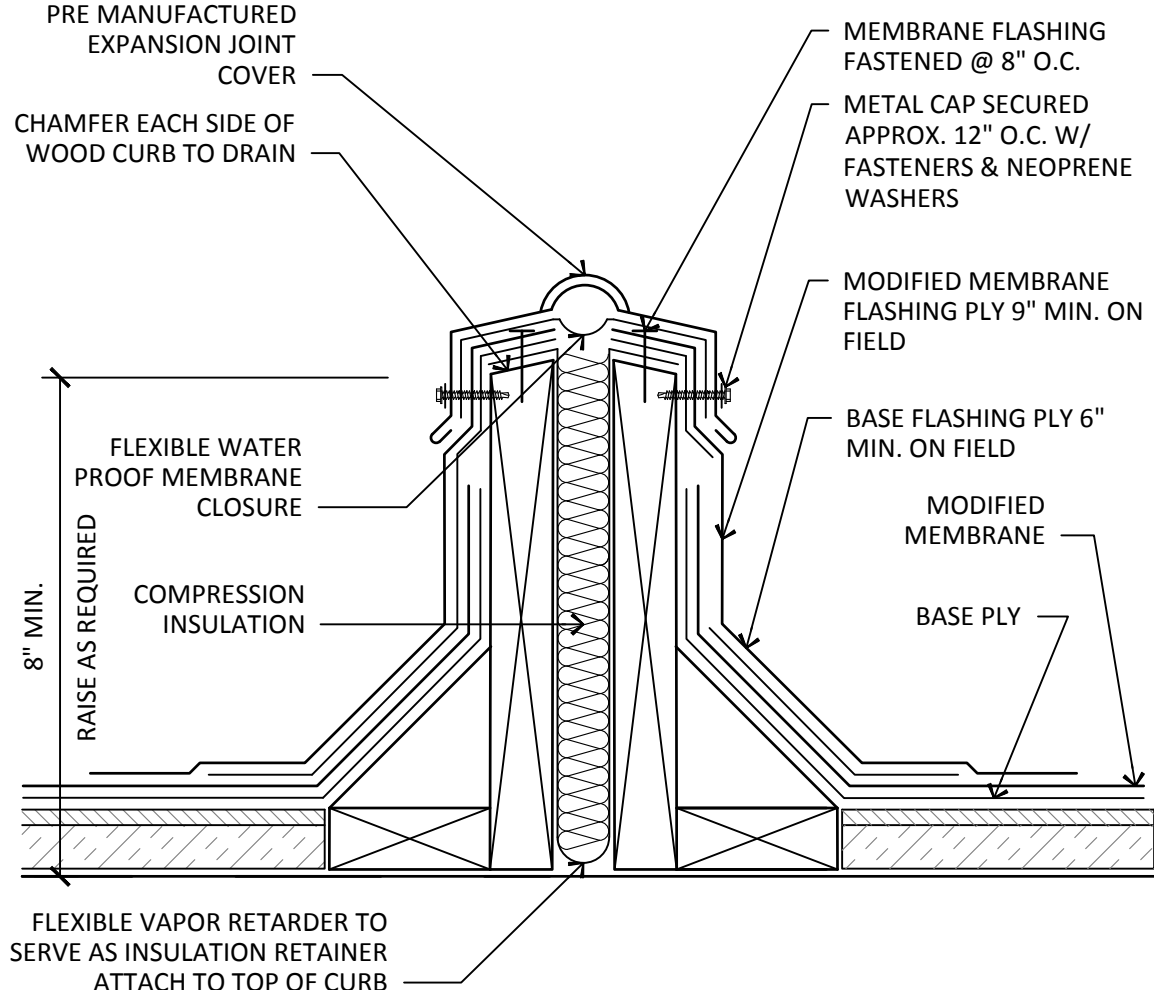


© 2019 - Copyright - All designs, details, graphic and written material illustrated herein constitutes the original unpublished work of the Architect and may not be copied, published, reproduced electronically or by any other means, used on other projects for construction or recording without the written consent of the Architect. All rights reserved.

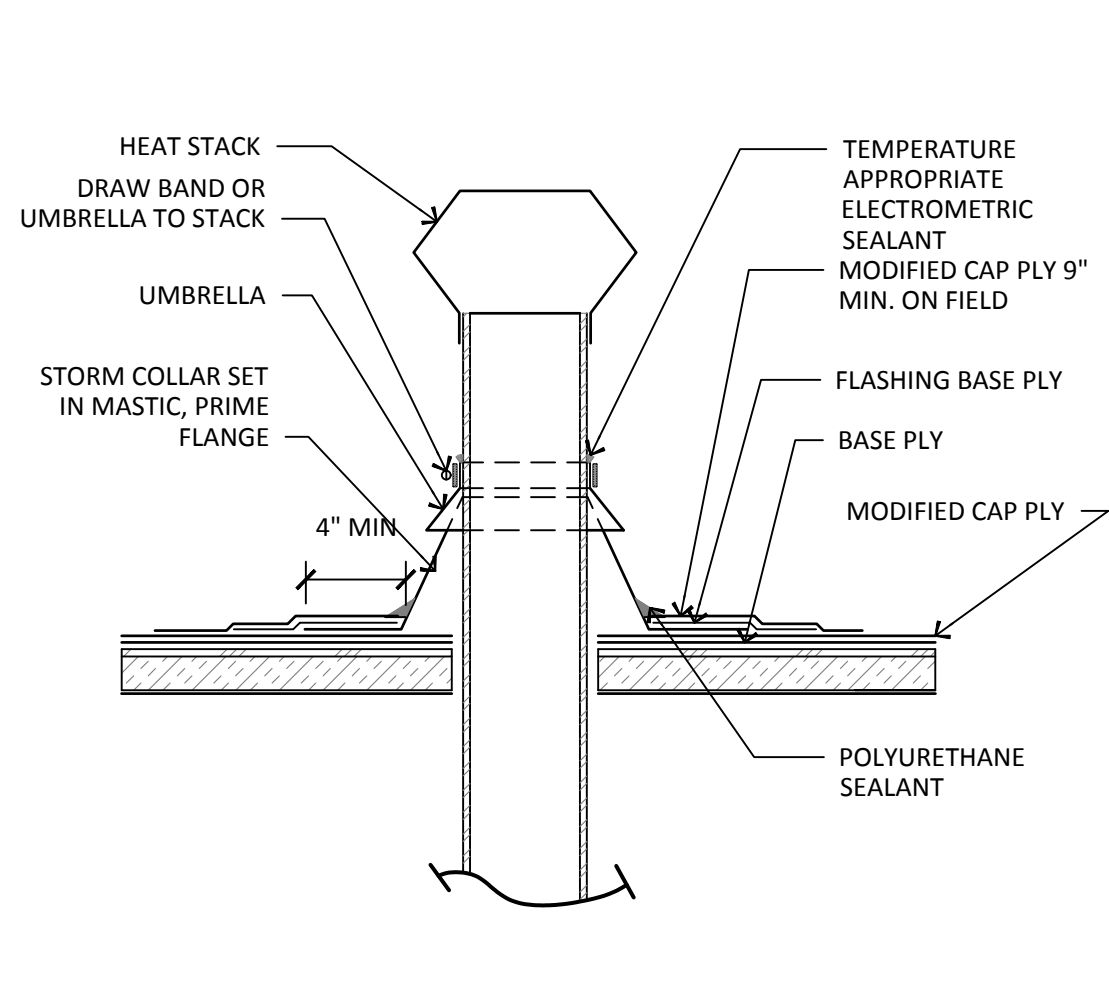
DRAWING TITLE
BUILDING 1001
ROOF PLAN

DRAWING NUMBER
A2.2

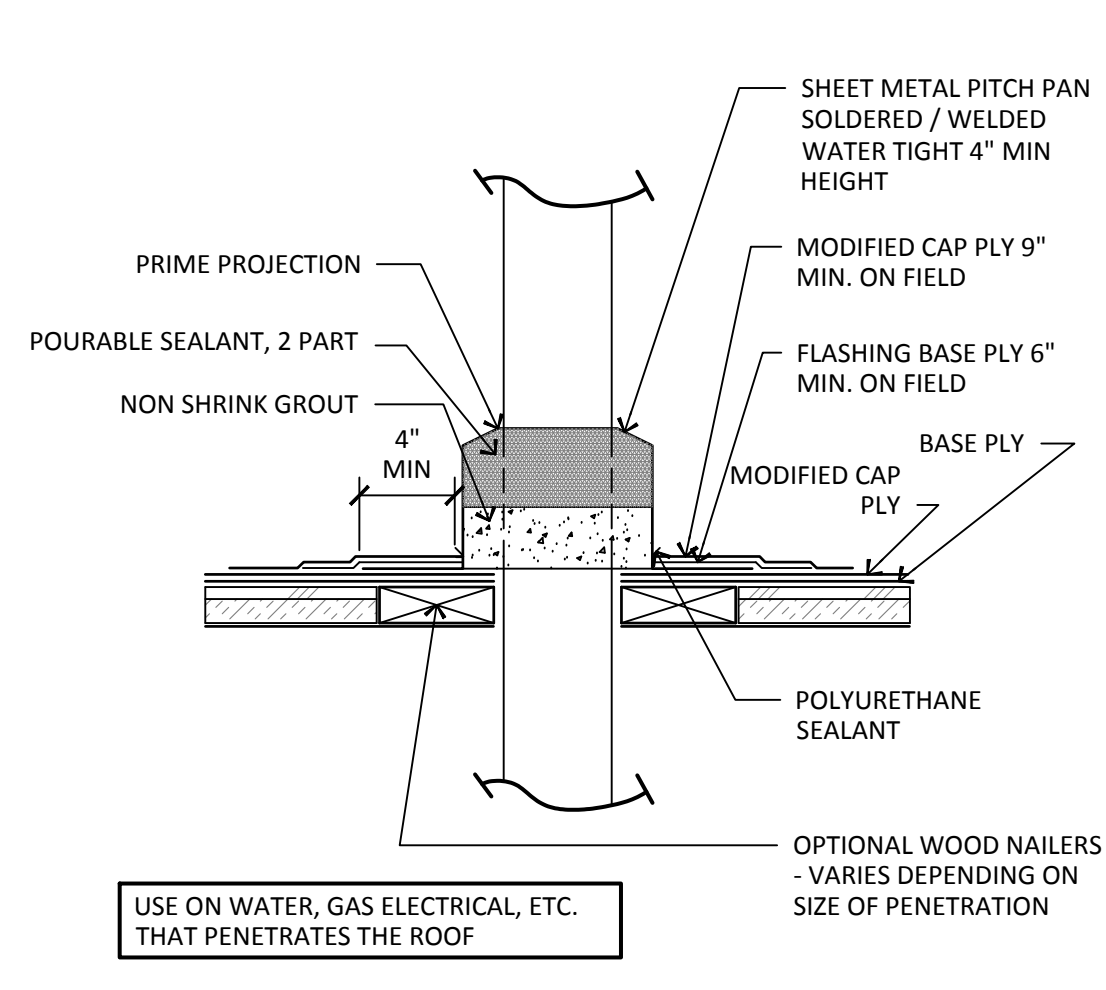
BUILDING 1001 ROOF PLAN
 scale: 3/32"=1'-0"



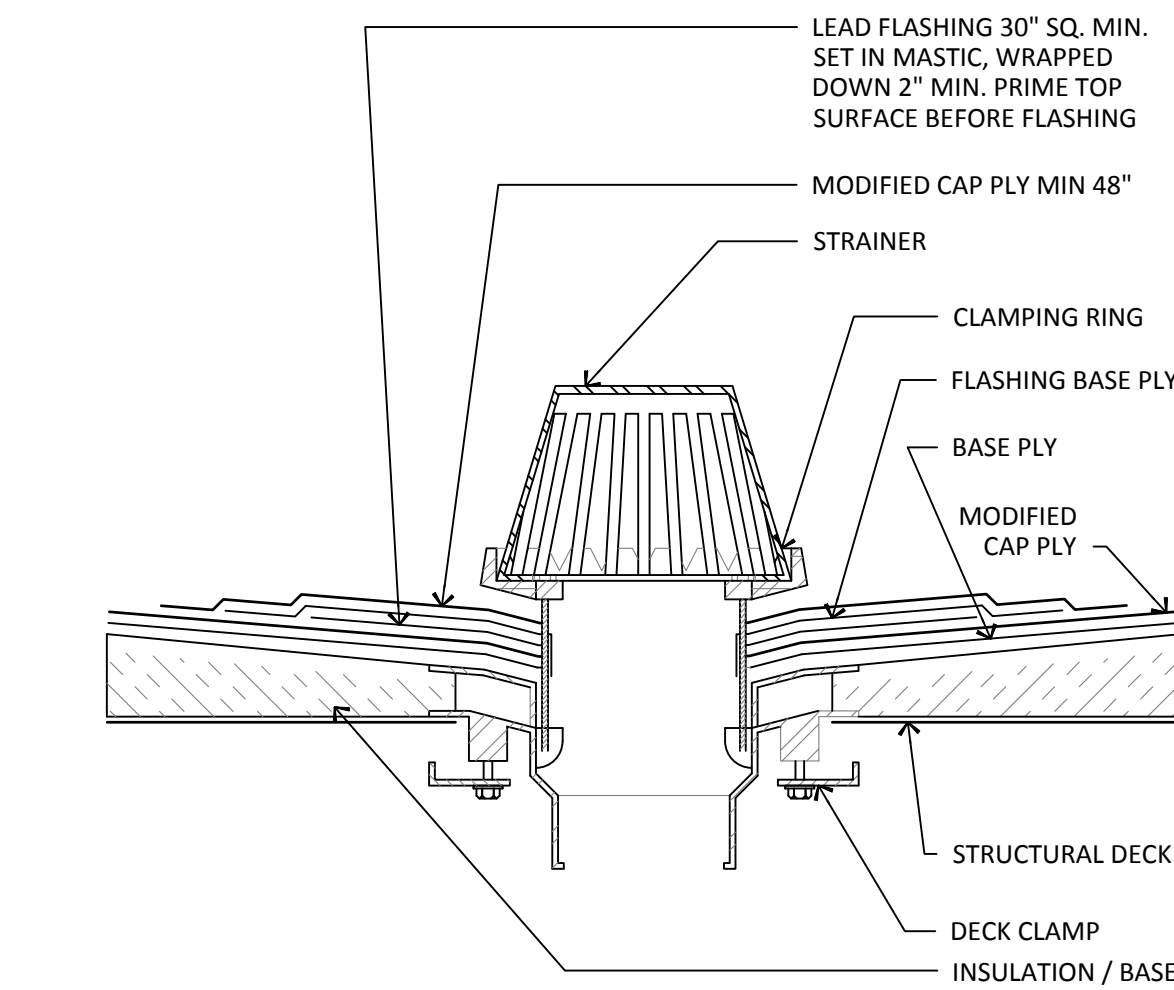
17 EXPANSION JOINT
SCALE: 1-1/2" = 1'-0"



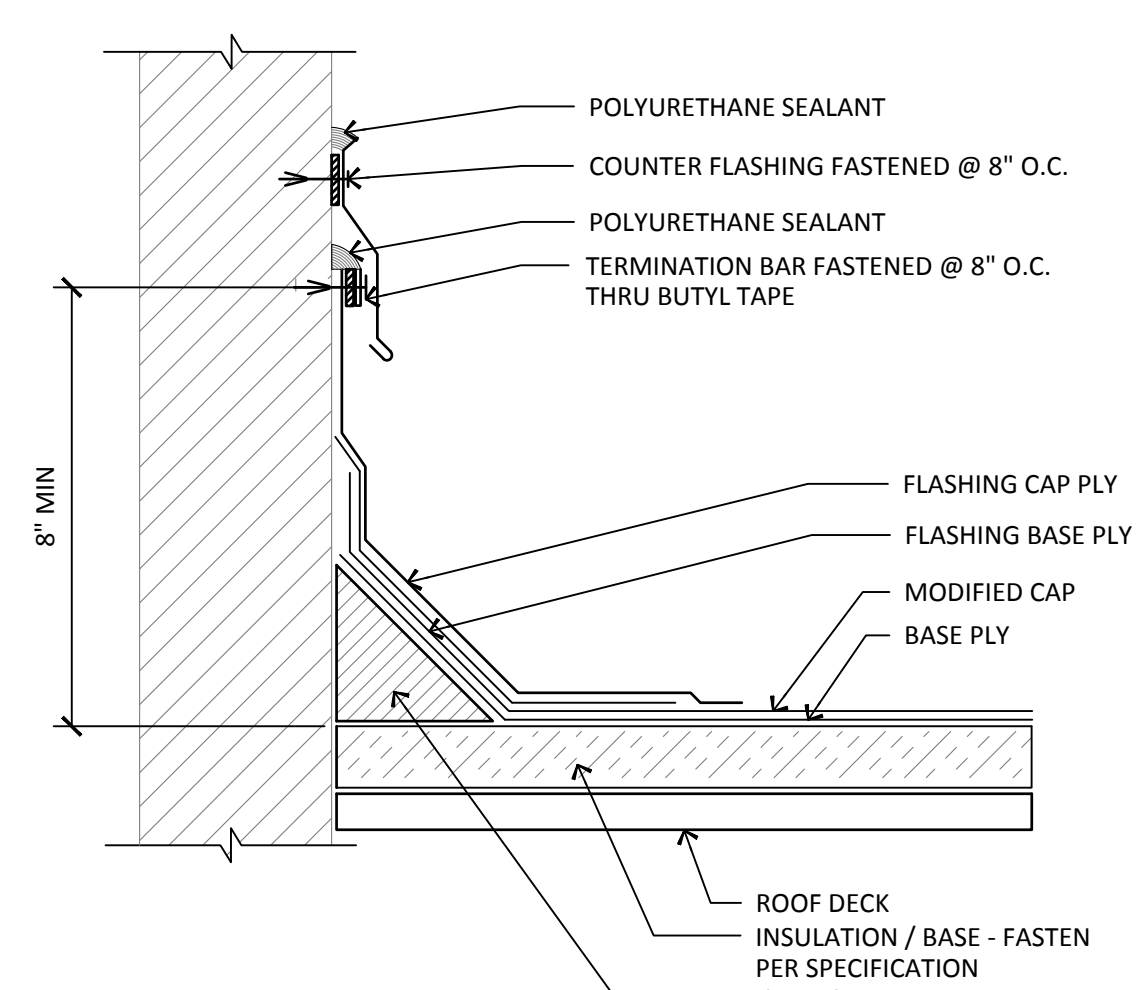
13 HEAT STACK
SCALE: 1-1/2" = 1'-0"



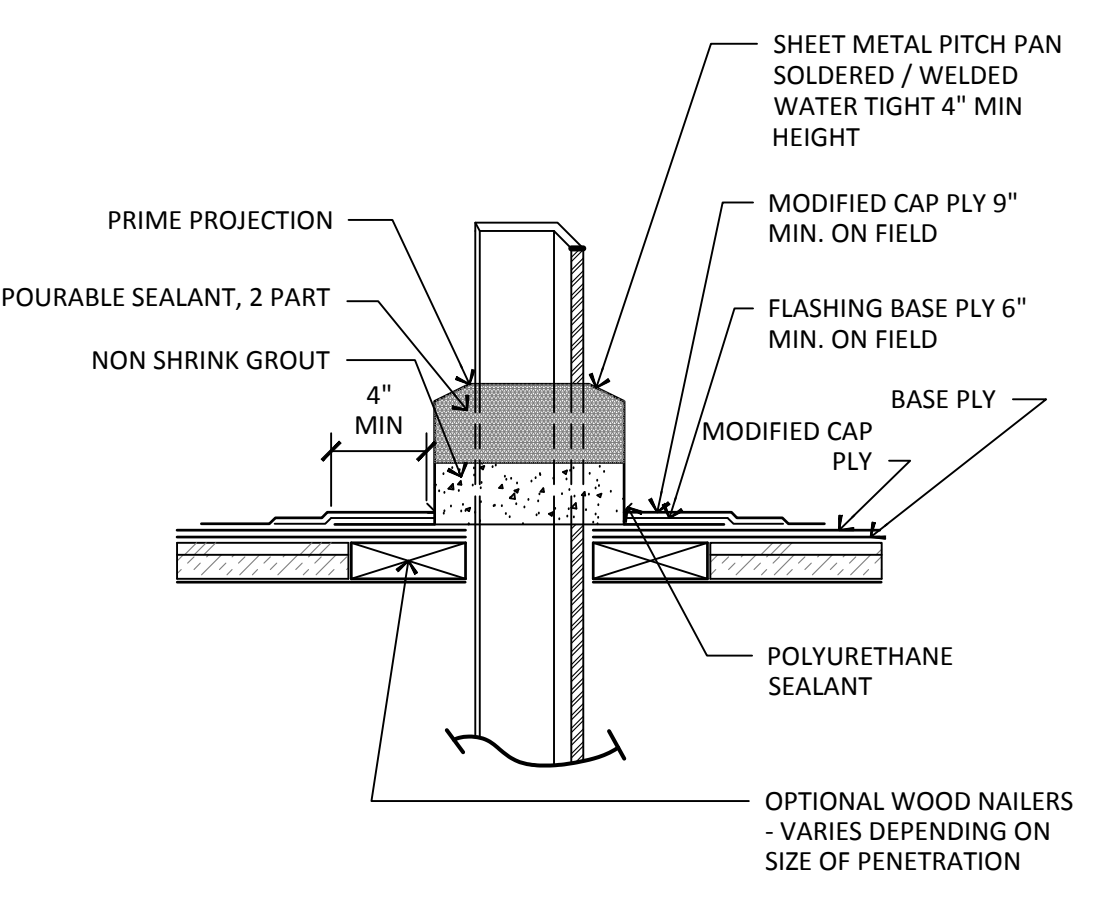
9 PITCH POCKET
SCALE: 1-1/2" = 1'-0"



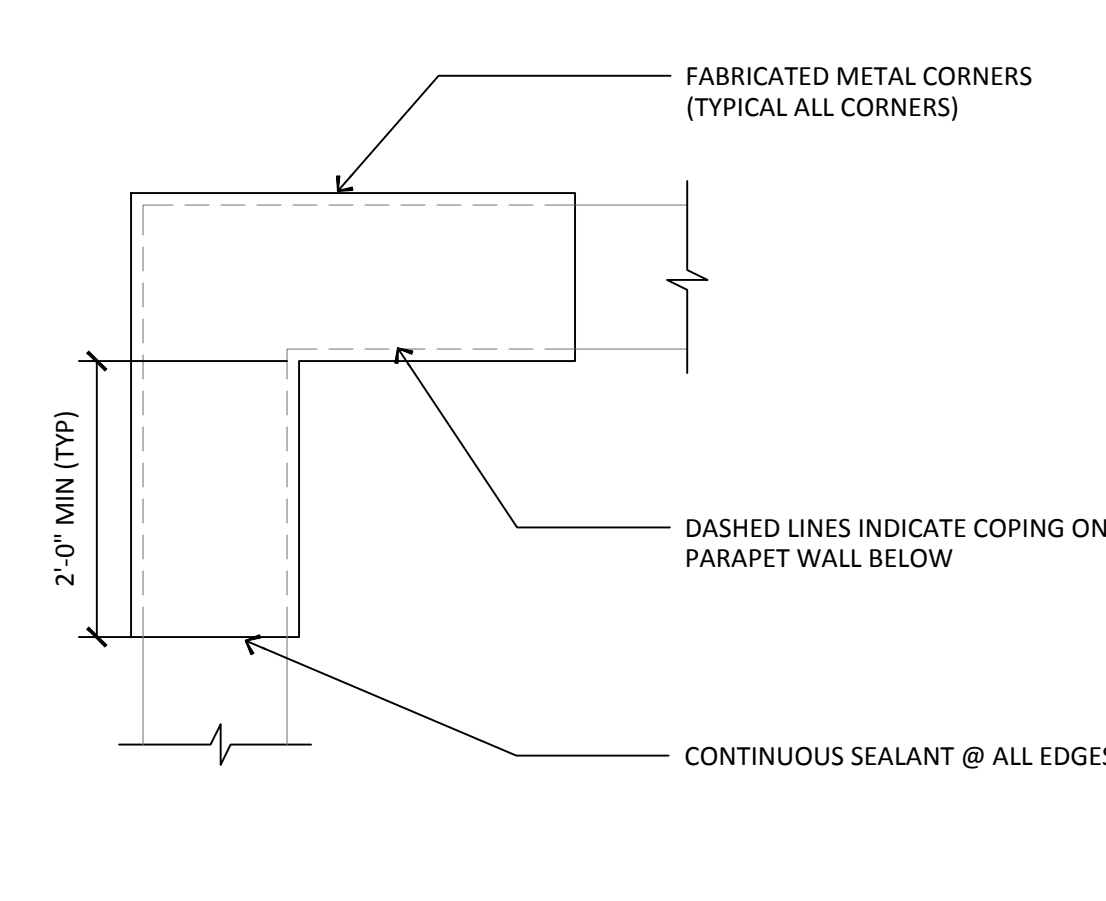
5 ROOF DRAIN
SCALE: 3" = 1'-0"



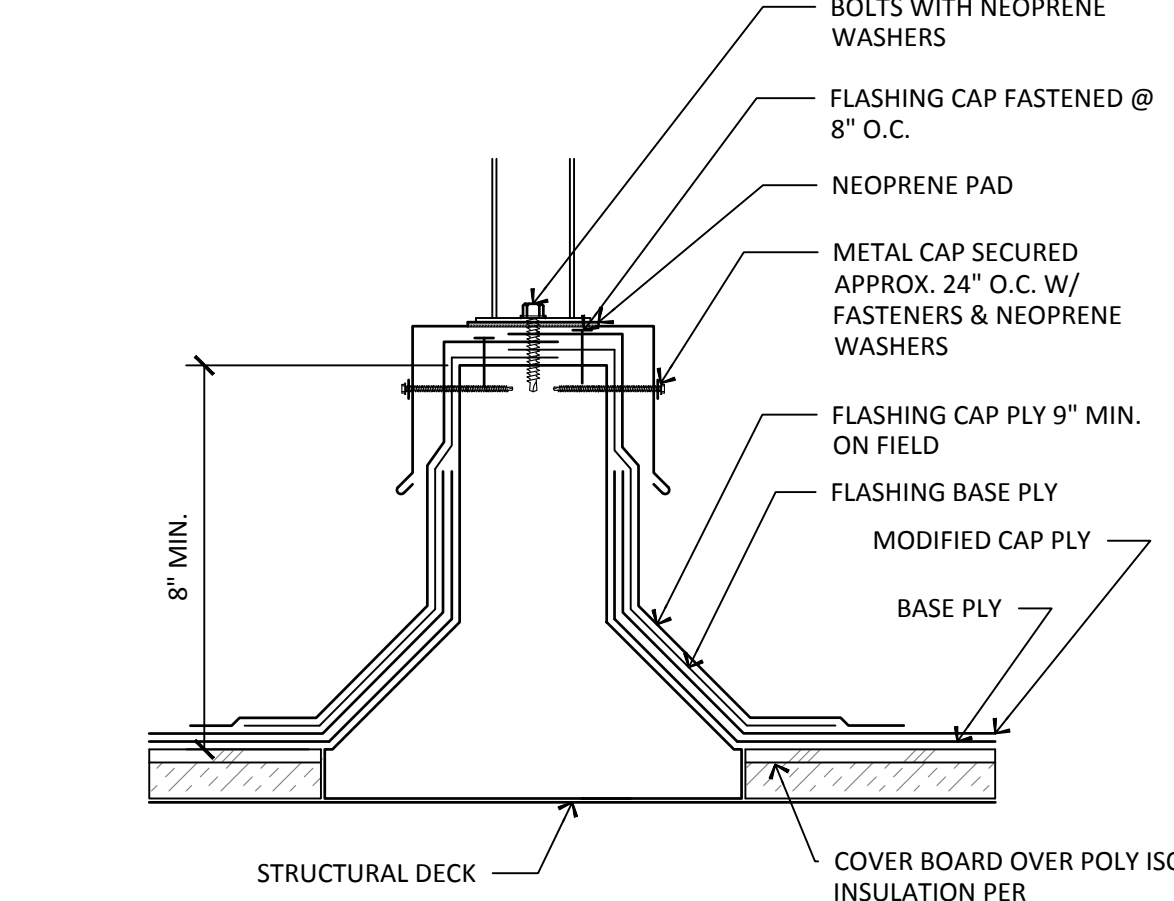
1 ROOF TO WALL
SCALE: 1-1/2" = 1'-0"



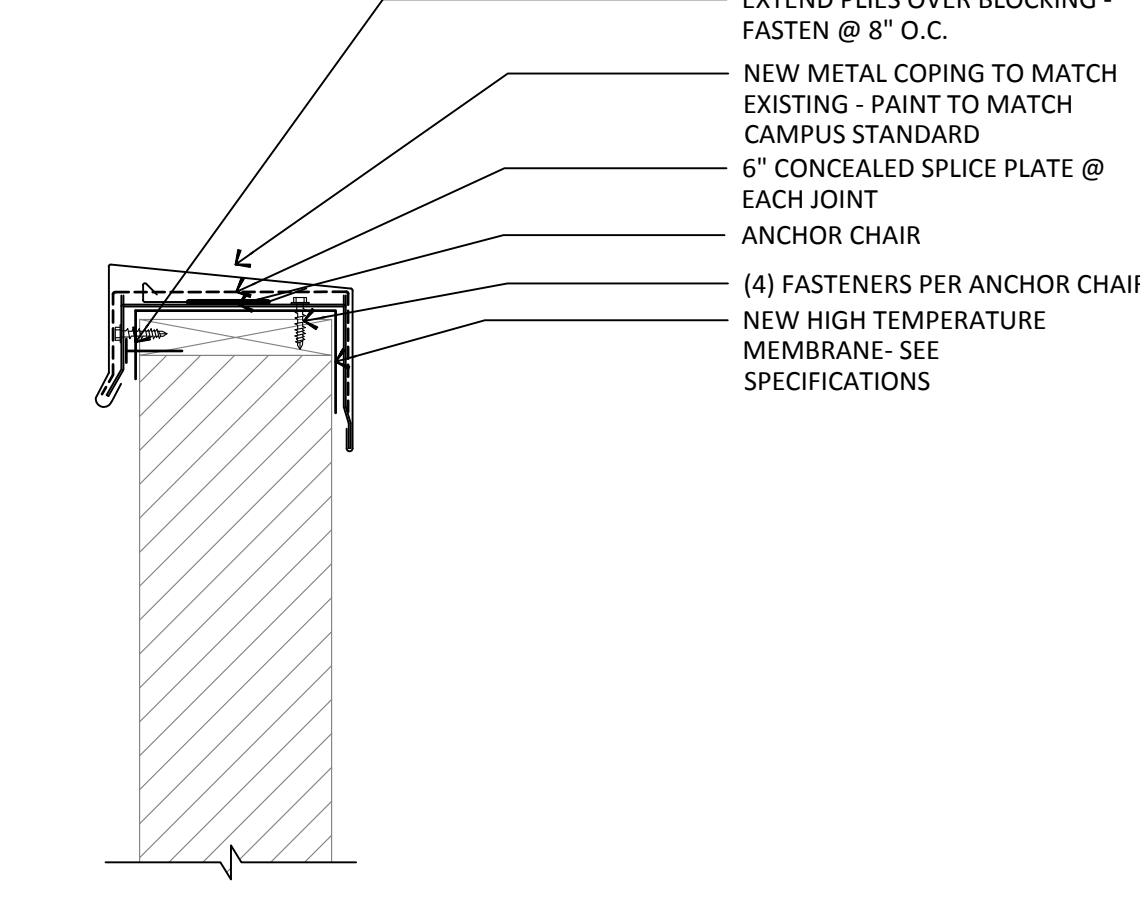
14 PITCH PAN
SCALE: 1-1/2" = 1'-0"



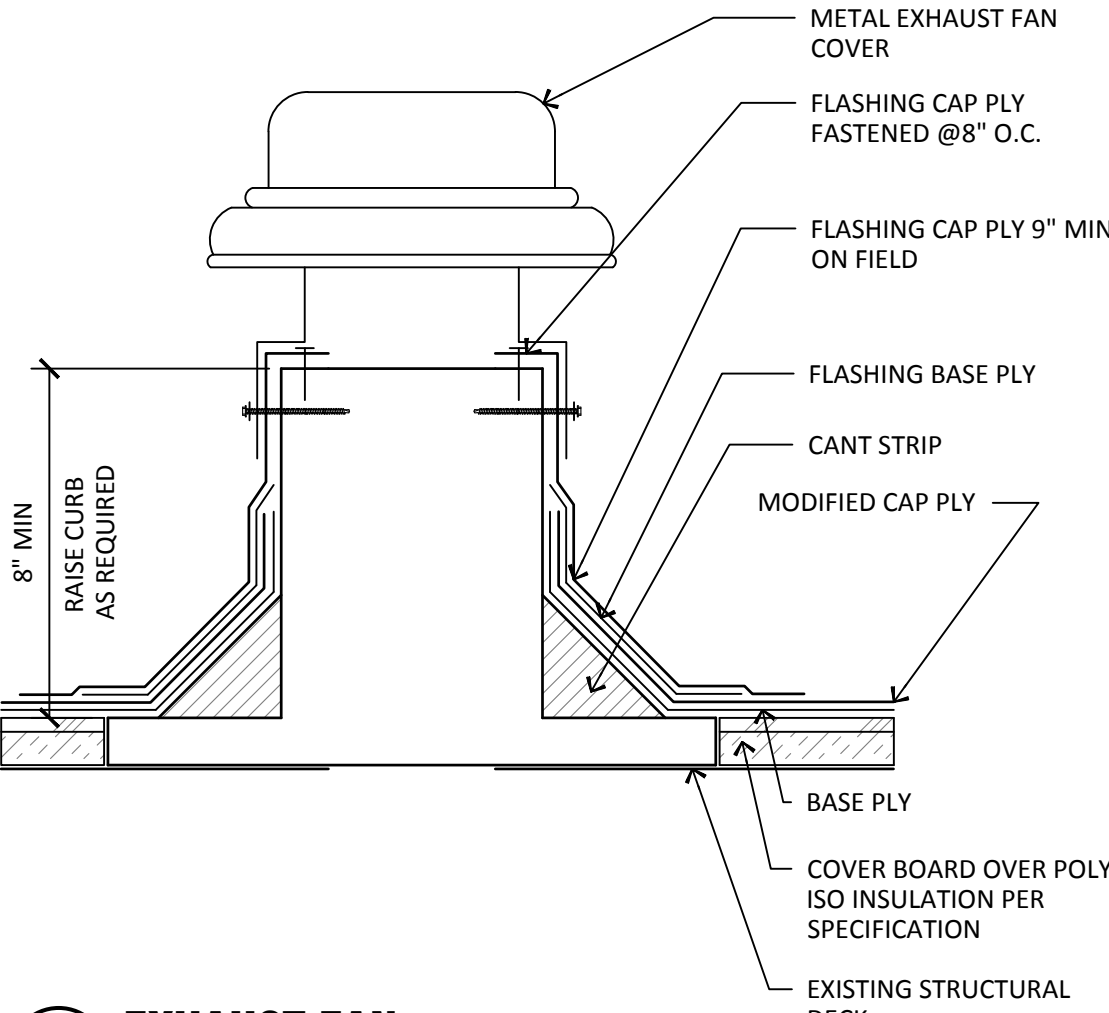
10 PRE FAB CORNER COPING
SCALE: 1-1/2" = 1'-0"



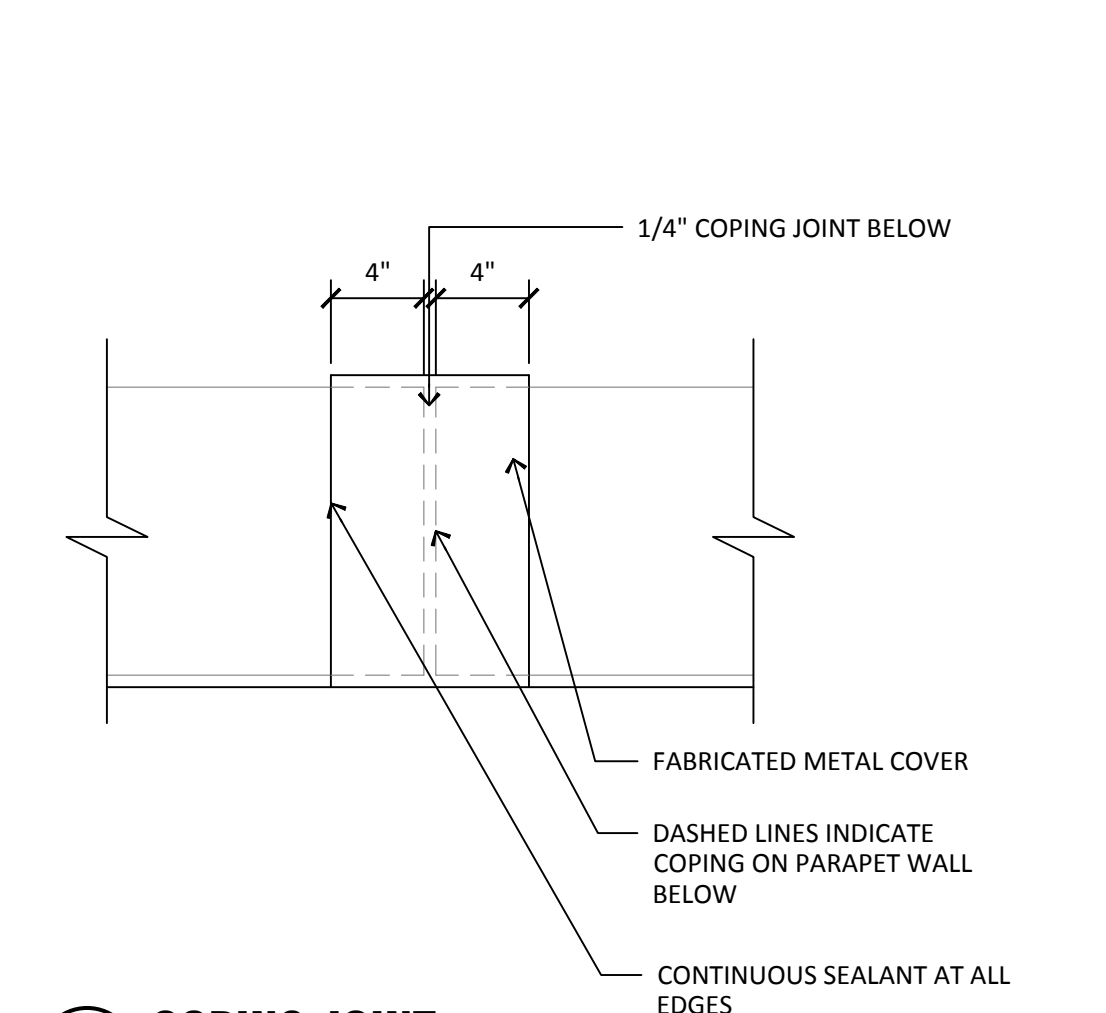
6 PRE MANUFACTURED SUPPORT CURB
SCALE: 3" = 1'-0"



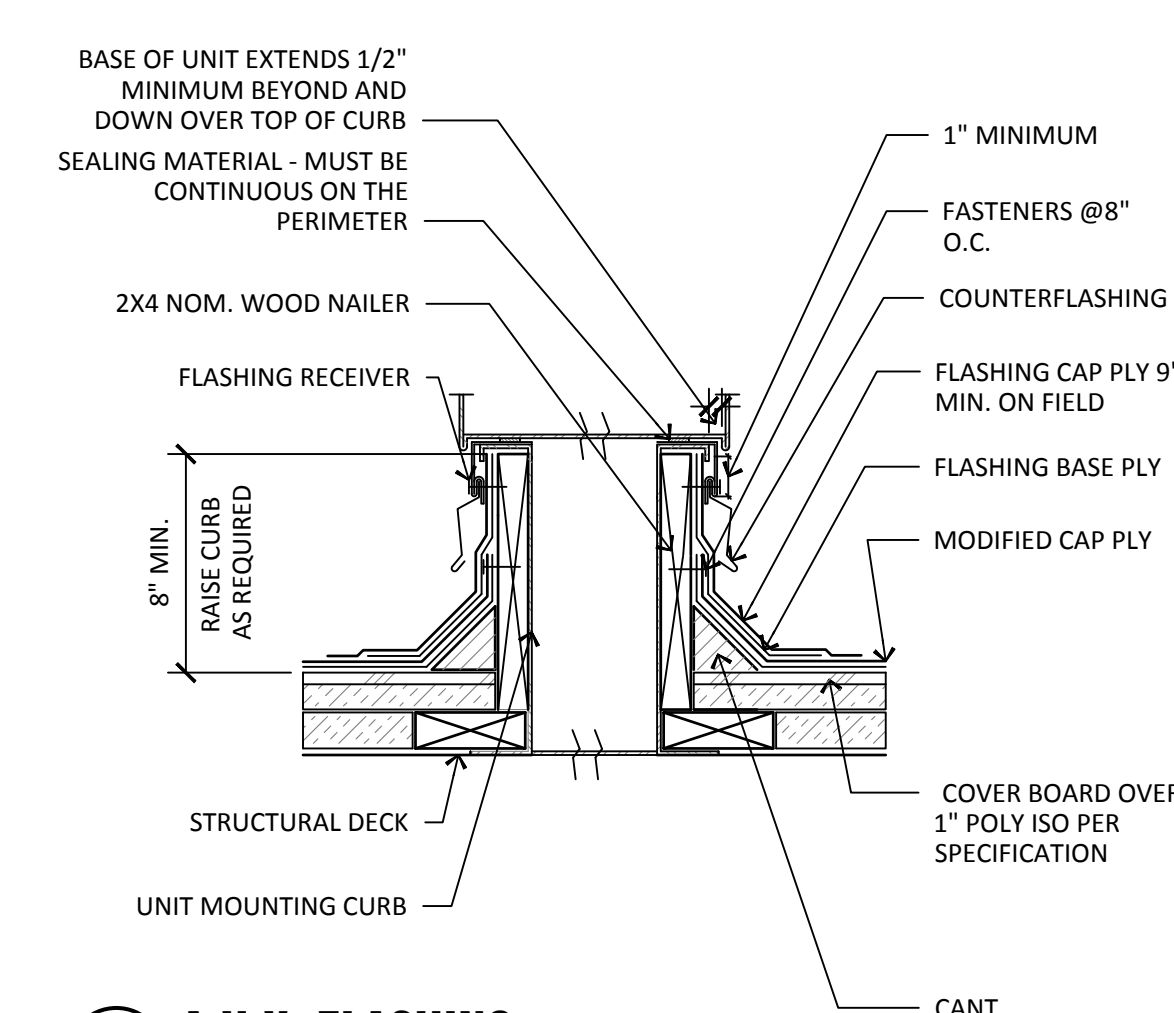
2 NEW METAL COPING
SCALE: 1-1/2" = 1'-0"



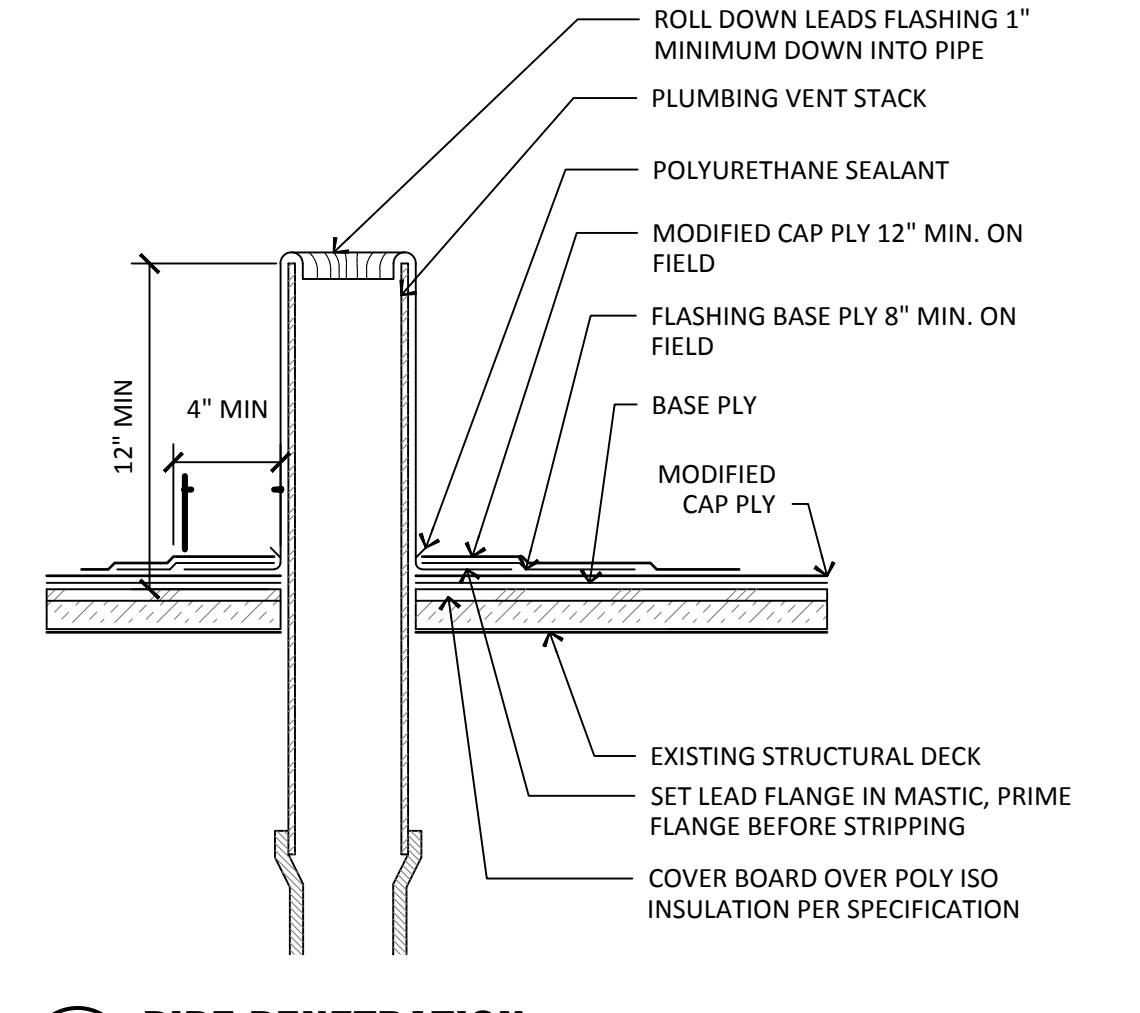
15 EXHAUST FAN
SCALE: 1-1/2" = 1'-0"



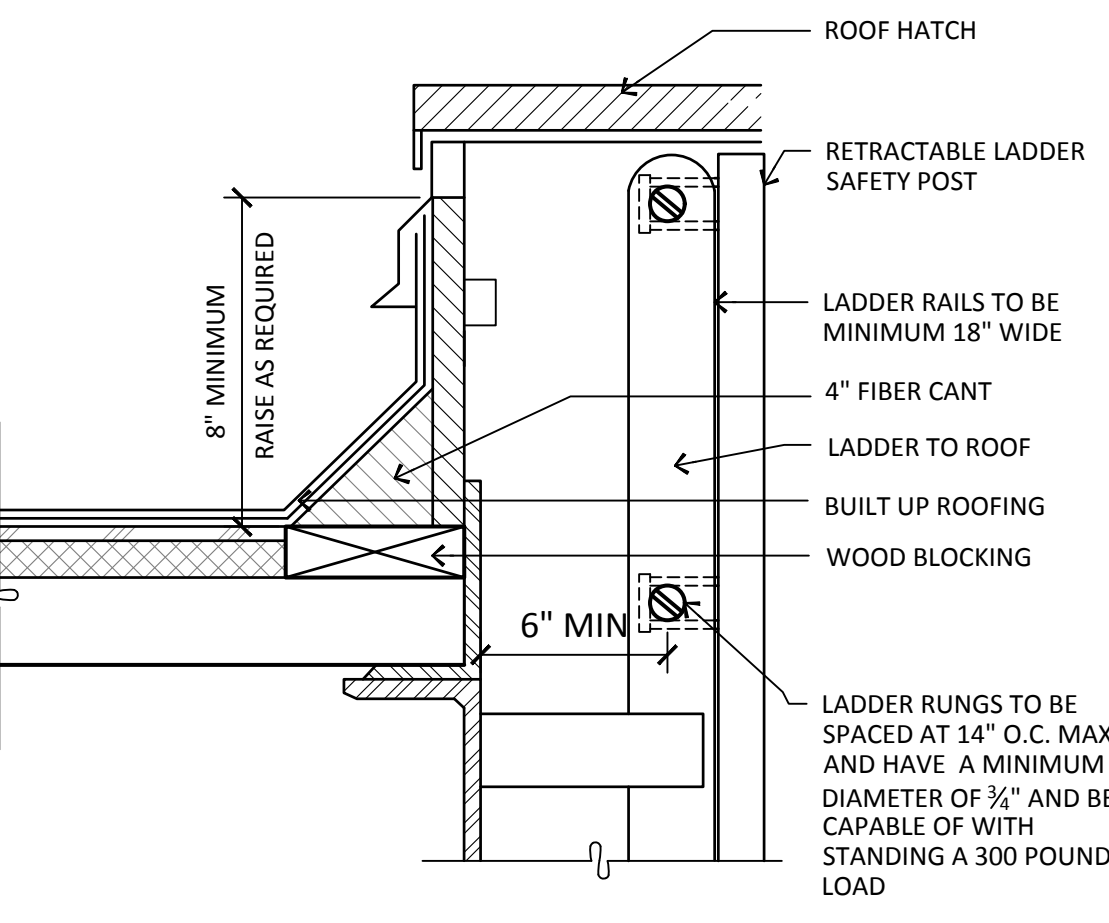
11 COPING JOINT
SCALE: 1-1/2" = 1'-0"



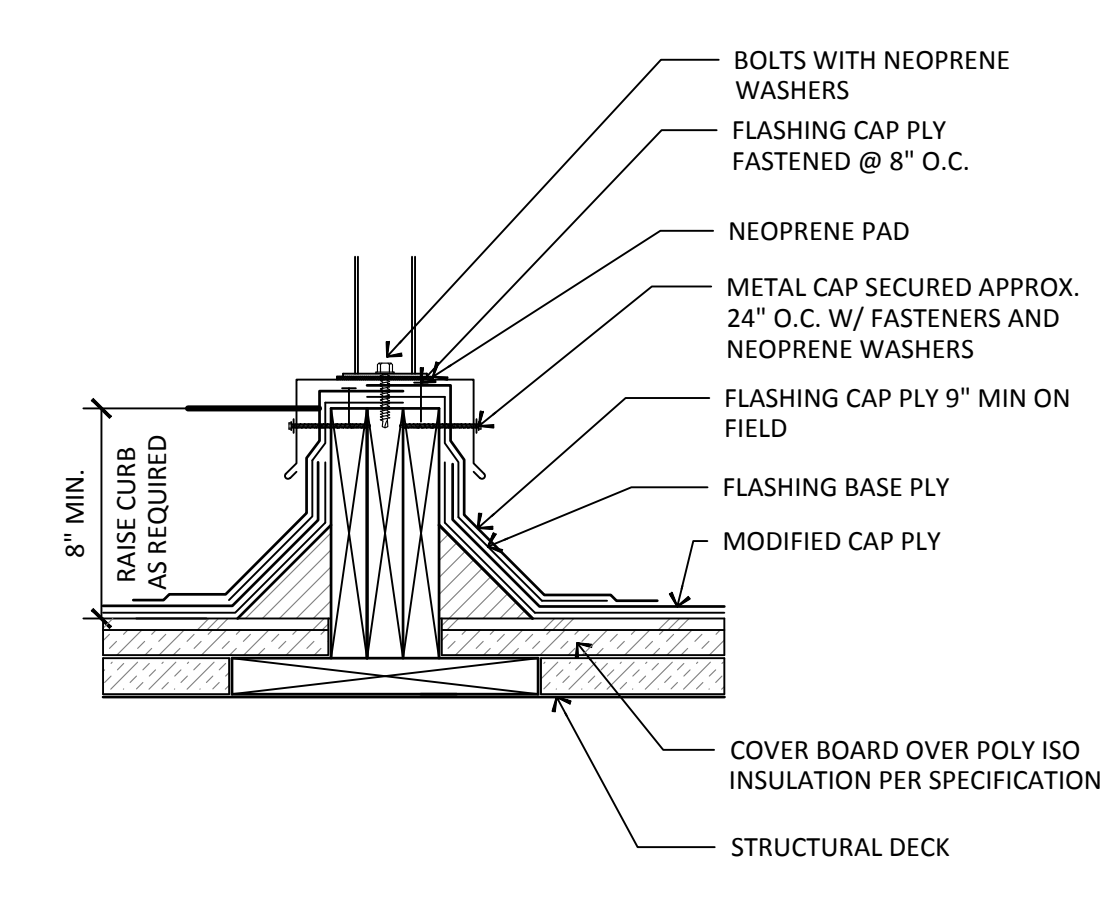
7 A.H.U. FLASHING
SCALE: 1-1/2" = 1'-0"



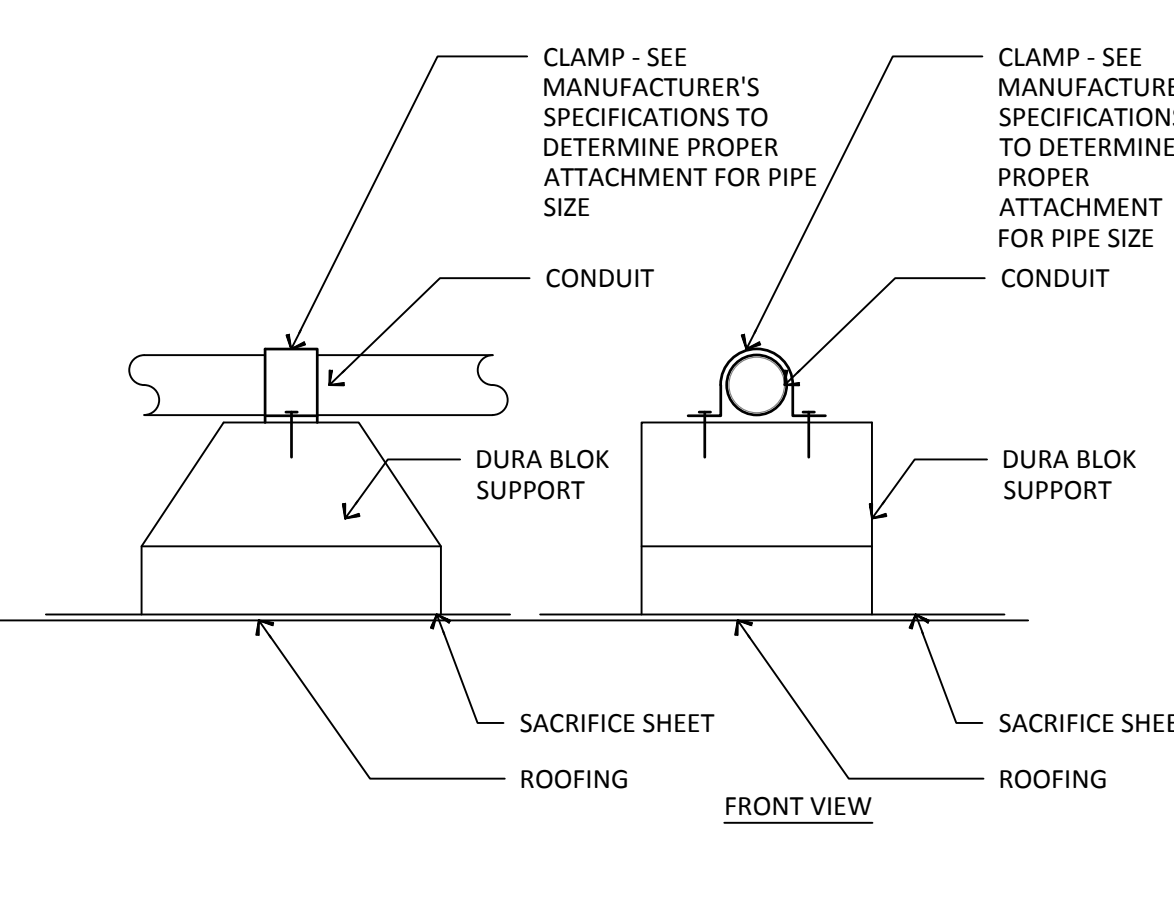
3 PIPE PENETRATION
SCALE: 1-1/2" = 1'-0"



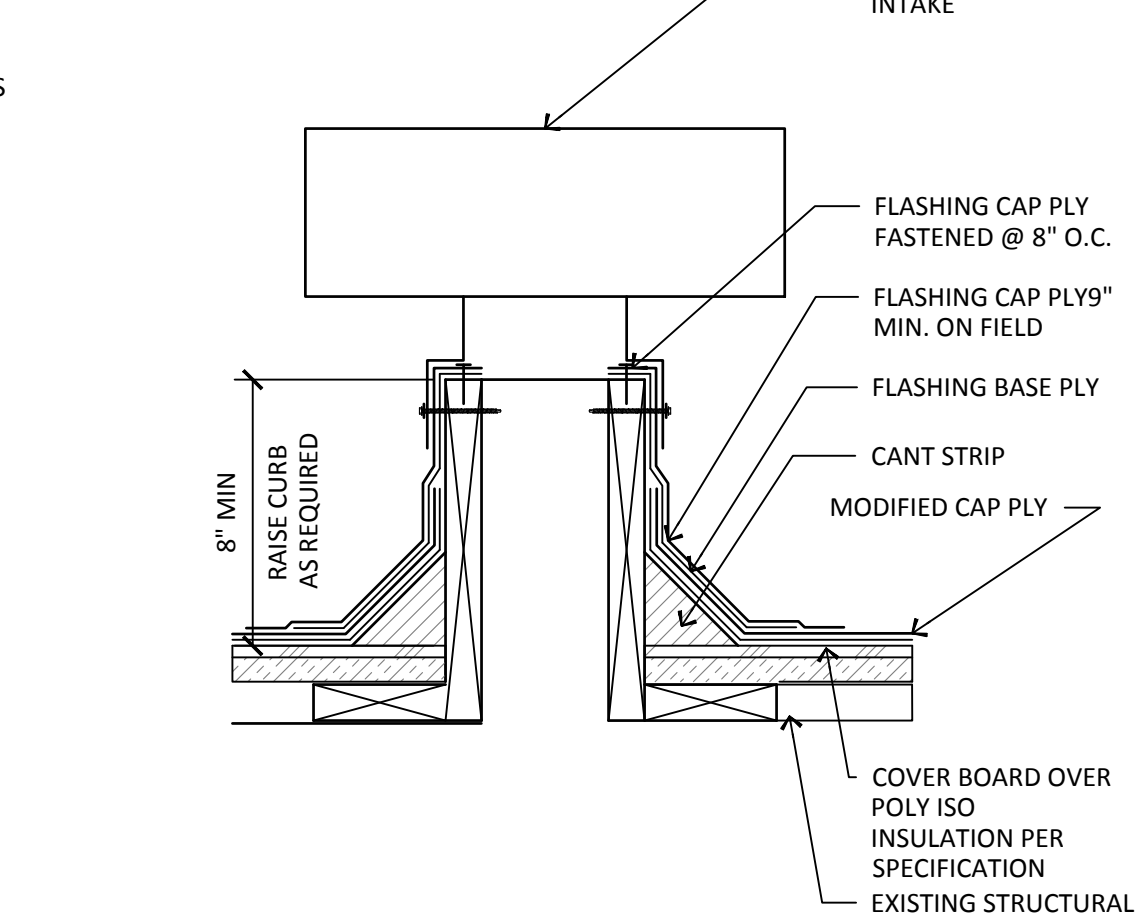
16 ROOF HATCH DETAIL
SCALE: 1-1/2" = 1'-0"



12 EQUIPMENT SUPPORT
SCALE: 1-1/2" = 1'-0"



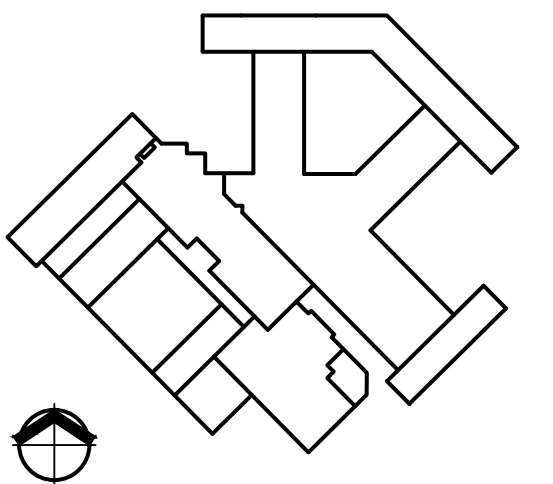
8 ROOF TOP PIPE SUPPORT
SCALE: 3" = 1'-0"



4 PASSIVE VENT / AIR INTAKE
SCALE: 1-1/2" = 1'-0"

PROJECT NO.: 18134.40
DRAWN BY: D. LIND
CHECKED BY: L. LIND
DATE: APRIL 10, 2019

REVISIONS		
NO.	DATE	COMMENT



© 2019 - Copyright - All designs, details, graphic and written material illustrated herein constitutes the original unpublished work of the Architect and may not be copied, published, reproduced electronically or by any other means, used on other projects for construction or recording without the written consent of the Architect. All rights reserved.