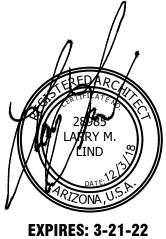




110 EL MIRAGE STREET PAGE, ARIZONA 86040

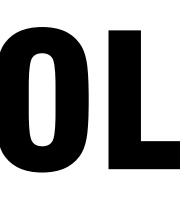


CONSTRUCTION DOCUMENT SET 4/10/19





CONSTRUCTION DOCUMENT SET 4/10/19





ROOF IMPROUEMENTS PAGE MIDDLE SCHOOL 110 EL MIRAGE STREET PAGE, ARIZONA 86040

abbrev	iations		
A.B.	ANCHOR BOLT	I.D.	IN
ACT	ACOUSTICAL CEILING TILE	INSUL.	IN
A.F.F. AGGR.	ABOVE FINISHED FLOOR AGGREGATE	INT.	IN
AGGR. AL.	ALUMINUM	JAN.	JA
ALT.	ALTERNATE	JNT.	JC
APPROX.	APPROXIMATE	JST.	JC
ARCH.	ARCHITECTURAL	KIT.	KI
BD.	BOARD		
BLDG. BLK.	BUILDING BLOCK	LAB. LAM.	LA LA
BLK'G	BLOCKING	LAV.	LA
BM.	BEAM	LT.	LI
BOT. BTWN.	BOTTOM BETWEEN	MAX.	М
B.U.R.	BUILT UP ROOFING	MECH.	M
B.W.	BOTH WAYS	MEMB.	Μ
C.J.	CONTROL IOINT	MFR. M.H.	M
C.J. CLG.	CONTROL JOINT CEILING	MIN.	M
CLKG.	CAULKING	MISC.	Μ
CLR.	CLEAR	M.O.	Μ
CMU COL.	CONCRETE MASONRY UNIT COLUMN	MTL. MUL.	M M
CONC.	CONCRETE	WOL.	141
CONSTR.	CONSTRUCTION	Ν	N
CONT.		N.I.C.	N
C.T.	CARPET TILE	NO. NOM.	N N
DEG.	DEGREE	N.T.S.	N
DET. / DETL	. DETAIL		
D.F.		0.C.	0
DIAG. DIA.	DIAGONAL DIAMETER	O.D. OH.	0
DIA. DN.	DOWN	OPG.	0
DS.	DOWNSPOUT	OPP.	0
DWG.	DRAWING	PCT.	PF
E	EAST	P.L.	PF
(E)	EXISTING	PLAM.	ΡL
ÉÁ.	EACH	Ρ.	PL
E.J.	EXPANSION JOINT	PLYWD. PR.	PL P/
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM ELEVATION	FIX.	F 7
ELEC.	ELECTRICAL	R.	RI
EMER.	EMERGENCY	R.D.	R
ENCL.	ENCLOSURE	RE: REFR.	RI RI
EQ. EQUIP.	EQUAL EQUIPMENT	REQ'D	RI
E.W.	EACH WAY	RM	R
E.W.C.	ELECTRIC WATER COOLER	R.O.	R
EXP.	EXPANSION	S	SC
EXT.	EXTERIOR	S.C.	SC
F.A.	FIRE ALARM	SCHED.	SC
F.D.	FLOOR DRAIN	SECT. S.F.	SE SC
F.D.C. F.E.	FIRE DEPARTMENT CONNECTION FIRE EXTINGUISHER	S.F. SHT.	SI
F.E.C.	FIRE EXTINGUISHER CABINET	SIM.	SI
F.F.	FINISH FLOOR	SPEC.	SF
F.H.C.	FIRE HOSE CABINET	SQ. S.S.	S(S1
FIN. F.L.	FINISH FLOW LINE	S.S. STAGG.	S S
FLR.	FLOOR	STD.	ST
FLOUOR.	FLUORESCENT	STIFF.	ST
FND.	FOUNDATION	STL. STRUC.	S1 S1
F.O.B. F.O.C.	FACE OF BRICK FACE OF CONCRETE	SUSP.	SI
F.S.	FULL SIZE		
FT.	FOOT OR FEET	TR.	RI
FTG.	FOOTING FURRING	T & B TER.	T(TI
FURR.	FORKING	T&G	T
GA.	GAUGE	THK.	TI
GALV.	GALVANIZED	T/	T(
G.C. GL.	GENERAL CONTRACTOR GLASS	TYP.	יד
GR.	GRADE	VCT	V
GYP.	GYPSUM	VER.	V
GYP. BD.	GYPSUM BOARD	VERT.	V
H.B.	HOSE BIB	W	W
H.C.	HOLLOW CORE	W/	W
H/C	HANDICAPPED	W.C.	W
HDWD. HDWE.	HARDWOOD HARDWARE	WD. W/O	W W
HDWE. H.M.	HARDWARE HOLLOW METAL	vv/U	V
HR.	HOUR		
HT.	HEIGHT		

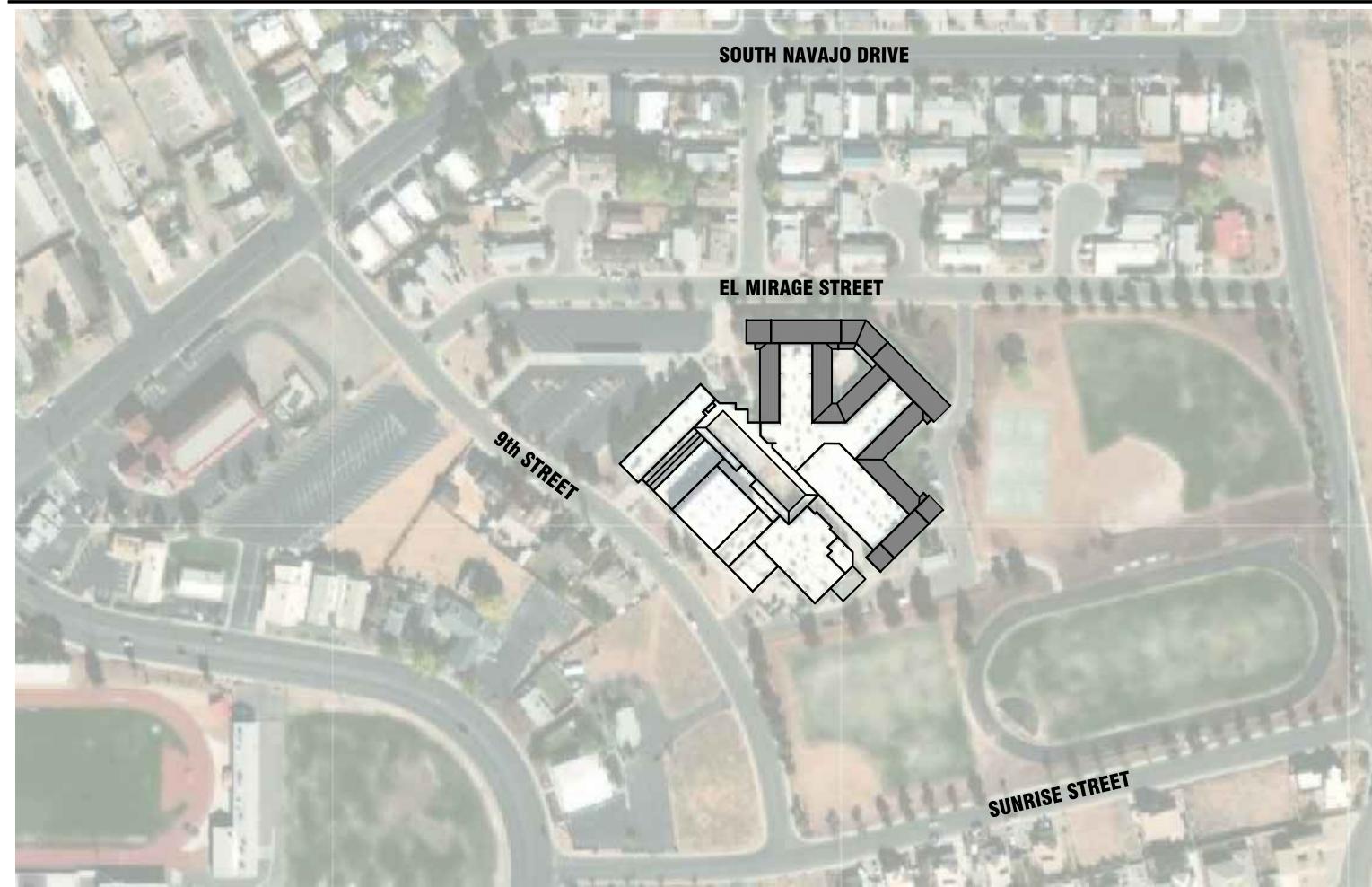
NSIDE DIAMETER NSULATION INTERIOR JANITOR JOINT JOIST KITCHEN ABORATORY AMINATE AVATORY LIGHT MAXIMUM MECHANICAL MEMBRANE MANUFACTURER MANHOLE /INIMUM **/ISCELLANEOUS** MASONRY OPENING METAL MULLION NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE ON CENTER OUTSIDE DIAMETER OVERHEAD OPENING OPPOSITE PRE-CAST PROPERTY LINE PLASTIC LAMINATE LASTER LYWOOD PAIR RISER ROOF DRAIN REFER TO REFRIGERATOR EQUIRED ROOM ROUGH OPENING SOUTH SOLID CORE CHEDULE ECTION SQUARE FOOT HEET SIMILAR SPECIFICATION SQUARE STAINLESS STEEL TAGGERED TANDARD TIFFENER TEEL TRUCTURA SUSPENDED READ TOP AND BOTTOM TERRAZZO ONGUE AND GROOVE HICK гор ог YPICAL VINYL COMPOSITION TILE VFRIFY VERTICAL WEST WITH WATER CLOSET WOOD WITHOUT

general notes

HEIGHT

- A. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES HAVING JURISDICTION ON THIS PROJECT.
- B. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED PRIOR TO PROCEEDING WITH ANY CONSTRUCTION SO INVOLVED.
- C. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, CLEARANCES, AND CONDITIONS. ANY DISCREPANCIES OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- D. WE CERTIFY TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DESIGN OF THIS PROJECT COMPLIES WITH THE APPLICABLE PROVISIONS & REQUIREMENTS OF SECTION 34-4-1 TO 34-411 INCLUSIVE OF THE STATUTES OF THE STATE OF ARIZONA.
- E. AS PER THE SPECIFICATION SECTION FOR PROJECT CLOSE-OUT, THE ARCHITECT WILL ISSUE A "CERTIFICATE OF SUBSTANTIAL COMPLETION OF THE PROJECT WORK".
- F. ANY FUTURE CHANGE OR REVISIONS TO THESE PLANS SHALL BE SUBMITTED TO THE CITY FOR REVIEW, AND APPROVAL PRIOR TO COMMENCING ANY WORK.
- G. ALL CHANGES AND/OR REVISIONS SHALL BE NOTED ON THE PLANS BY "CLOUDING" THE AREAS AFFECTED BY THESE REVISIONS OR CHANGES, AND WITH "DELTAS" INDICATING THE NUMBER OF TIMES THE CHANGES OCCUR. IN ADDITION, THE DATE OF THESE CHANGES OR REVISIONS SHALL BE INDICATED. THIS DATA SHALL ALSO BE PLACED IN THE TITLE BLOCK, IN AN APPROPRIATE BULLETIN OR SCHEDULE.
- H. SEE SPECIFICATIONS FOR PRIOR APPROVALS. IF NO PRIOR APPROVAL IS SUBMITTED THEN BID MUST BE TO ROOF MANUFACTURE SPECIFIED AS "BASIS OF DESIGN"

reference site plan



nailing schedule

DESCRIPTION OF BUILDING ELEMENTS
JOIST TO SILL OR GIRDER, TOENAIL
1" x 6" SUBFLOOR OR LESS TO EACH JOINT, FACE NAIL
2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL
SOLE PLATE TO JOIST OR GIRDER, FACE NAIL
TOP OR SOLE PLATE TO STUD, END NAIL
STUD TO SOLE PLATE, TOE NAIL
DOUBLE STUDS, FACE NAIL
DOUBLE TOP PLATES, FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS
DOUBLE TOP PLATES, MIN. 48" OFFSET OF END JOISTS, FACE NAIL IN LAPPED ARE
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL
RIM JOIST TO TOP PLATE, TOE NAIL
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER
CONTINUED HEADER, TWO PIECES
CEILING JOIST TO PLATE, TOE NAIL
CONTINUOUS HEADER TO STUD, TOE NAIL
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL
RAFTER TO PLATE, TOE NAIL
1" BRACE TO EACH STUD AND PLATE, FACE NAIL
1" x 6" SHEATHING TO EACH BEARING, FACE NAIL
1" x 8" SHEATHING TO EACH BEARING, FACE NAIL

WIDER THAN 1"x 8" SHEATHING TO EACH BEARING, FACE NAIL **BUILT-UP CORNER STUDS** BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS

2" (25MM) PLANKS

ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS TOE NAIL FACE NAIL
RAFTER TIES TO RAFTERS, FACE
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMI AND PARTICLEBOARD WALL SHEATHING TO FRAMING
5/16" - 1/2" 5/16" - 1/2"
19/32" - 1"
1 1/8" - 1 1/4"
OTHER WALL SHEATHING ^h

DESCRIPTION OF BUILDING ELEMENTS		FASTE
1/2" REGULAR CELLULOSIC FIBERBOARD S	SHEATHING	1 1/2" galv
1/2" STRUCTURAL CELLULOSIC FIBERBOA	RD SHEATHING	1 1/2" galv
25/32" STRUCTURAL CELLULOSIC FIBERBO	DARD SHEATHING	1 3/4" galv
1/2" GYPSUM SHEATHING	1 1/2" galv. roofing nail;	6d common
5/8" GYPSUM SHEATHING	1 3/4" galv. roofing nail;	8d common

WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT T
3/4" OR LESS
7/8" - 1"
1 1/8" - 1 1/4"

- a. All nails are smooth-common, box or deformed shanks except where otherwise stated. b. Staples are 16 gage wire and have a min. 7/16" on diameter crown width.
- c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater
- d. Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.
- e. Spacing of fasteners not included in this table shall be based on Table R602.3(1)
- f. For regions having basic wind speed of 110 mph or greater, 8d deformed nails shall be used for attaching plywood abd wood structural panel roof sheathing to framing within min. 48-inch distance from gable end walls, if mean roof height is more that 25 feet, up to 35 feet max.
- g. For regions having basic wind speed of 100 mph or less, nails for attachina wood structural panel roof sheathina to gable end wall framing shall be spaced 6 inches on center. When basic wind speeds is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for min. 48—inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.
- h. Gypsum sheathing shall conform to ASTM C 70 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to either AHA 194.1 or ASTM C 208.
- Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

	NUMBER AND TYPE ^{a,b,c,d} SPACING
	3-8d
	2-8d, 2 staples 1 3/4"
	2-16d
	16d @ 16" O.C.
	2-16d
	3-8d or 2-16d
	10d @ 24" O.C.
	10d @ 24" O.C.
	3-16d @ 16" O.C.
A	8-16d
	3-8d
	8d @ 6" O.C.
	2-10d
	16d @ 16" o.c. along each edge
	16d @ 16" o.c. along each edge
	3-8d
	4-8d
	3-10d
	3-10d
	2-16d
	2-8d, 2 staples 1 3/4"
	2-8d, 2 staples 1 3/4"
	2-8d, 3 staples 1 3/4"
	3-8d, 4 staples 1 3/4"
	10d @ 24" O.C.
	10d @ 32" o.c. at top and bottom and staggered
	2 nails at ends and at each splice
	2-16d at each bearing
	4-16d
	3-16d
	3-8d
ling	
6-6	d common nail (SUBFLOOR, WALL) 129
	d common nail (ROOF) 12 g
6-8	d common nail 12 ^g
6-1	0d common nail or 6-8d deformed nail 12

TENER ^{b,c,d,e}	EDGES ⁱ	INTER. SUPPOR	TS	c,e
alv. roofing na	ail 6d common nail	staple 16 ga., 1 1/2"	3	6
alv. roofing n	ail 8d common nail	staple 16 ga., 1 1/2"	3	6
alv. roofing na	ail 8d common nail	staple 16 ga., 1 3/4"	3	6
on nail; staple	e galv. 1 1/2"; 1 1/4	" screws, type w or s	4	8
on nail; staple	e galv. 1 5/8"; 1 5/8	" screws, type w or s	4	8
FRAMING	6d deformed nail	or 8d common nail	6	12
	8d common nail	or 8d deformed nail	6	12
	10d common nail	or 8d deformed nail	6	12

roofing general notes

- ALL NEW ROOF PENETRATIONS TO BE FULLY WATER TIGHT. REPAIR EXISTING METAL FLASHING/FASCIA AS REQUIRED. REFER TO DETAILS.
- B. ROOF AREA NUMBERS ARE SHOWN FOR ROOF AREA LOCATION COMMUNICATION PURPOSES ONLY.
- C. ALL MECHANICAL UNITS, EXHAUST FANS, MECHANICAL EQUIPMENT. ETC. MOUNTED ON ROOF SHALL BE PROVIDED WIT CRICKETING AS REQUIRED TO PROVIDE POSITIVE ROOF DRAINAGE, TYPICAL.
- D. VERIFY ALL ROOF DECK CONDITIONS PRIOR TO ANY ROOFING ACTIVITIES.
- E. COORDINATE ALL MECHANICAL ROOF MOUNTED EQUIPMENT FOR PROPER CURB REQUIREMENTS AND PENETRATION OPENINGS SO THAT PROPER FLASHING MAY BE INSTALLED AS TO CONFORM WITH THE MANUFACTURER'S STANDARD DETAILS / INSTALLATION REQUIREMENTS.
- NOT ALL PENETRATIONS MAY BE INDICATED. CONTRACTOR TO FIELD VERIFY. FOR TYPICAL VENT AND PIPE PENETRATIONS THROUGH ROOF MEMBRANE, SEE TYPICAL DETAILS
- G. REFER TO PLANS FOR LOCATIONS OF NEW COPING, GUTTERS, AND ASSOCIATED DETAILS.
- H. ALL SHEET METAL FABRICATIONS TO COMPLY WITH THE LATEST SMACNA ARCHITECTURAL SHEET METAL MANUAL - TYPICAL.
- I. REMOVE ALL EXISTING PARAPET WALL REGLETS (U.N.O.) EXISTING PARAPET WALL COUNTER FLASHING AT REGLET TO BE REMOVED FOR INSTALLATION OF NEW ROOF MEMBRANE. INSTALL NEW COUNTER FLASHING AS REQUIRED TO CONFORM WITH MANUFACTURES ROOF WARRANTY. PAINT ALL REGLETS AND COUNTER FLASHING COLOR TO MATCH ADJACENT PARAPET WALLS.
- MECHANICAL UNITS, EQUIPMENT, VENTS, ETC. SHOWN ARE DIAGRAMMATIC. THEY ARE NOT TO SCALE AND THE LOCATIONS ARE APPROXIMATE. NOT ALL ROOFING PENETRATIONS HAVE BEEN SHOWN. CONTRACTOR TO FIELD VERIFY QUANTITIES, SIZES, AND LOCATIONS OF MECHANICAL AND ELECTRICAL PENETRATIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ADDITIONAL ROOFING PENETRATIONS NOT INDICATED ON DRAWINGS.
- CONTRACTOR IS RESPONSIBLE TO VISIT SITE TO ASCERTAIN THE FULL EXTENT OF THE WORK REQUIRED. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO ASCERTAIN FULL EXTENT OF THE WORK REQUIRED THROUGH VISUAL INSPECTION OF EXISTING CONDITIONS AND THAT DETAILED AND SPECIFIED WITHIN THE CONTRACT DOCUMENTS.
- L. ROOF SLOPED INDICATED ARE APPROXIMATE. CONTRACTOR TO VERIFY IF SLOPE IS PROVIDED IN THE STRUCTURE OF BUILDING OR IF TAPERED INSULATION WILL BE REQUIRED TO PROVIDE SLOPE
- CONTRACTOR TO PROVIDE WARRANTED WATER TIGHT ROOF CONSTRUCTION AND FLASHING AT ALL NEW ROOFING INSTALLATIONS EXCEPT AT EXISTING ROOFING TO REMAIN. CONTRACTOR TO VISUALLY INSPECT ALL METAL COPING TO REMAIN FOR POTENTIAL SOURCES OF LEAKS AND PROVIDE REPORT TO ARCHITECT FOR REVIEW.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTING INTERIOR ROOF LEADERS TO ENSURE THAT THEY ARE NOT LEAKING. IF LEAKS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT.

general structural notes

CODE: INTERNATIONAL BUILDING CODE, IBC 2006 ED.

LOADS:

ROOF DEAD LOAD : 15 PSF ROOF LIVE LOAD : 20 PSF.

WIND DESIGN CRITERIA : PER CHAPTER 16, SECTION 1609. BASIC WIND SPEED 90 MPH, EXPOSURE C.

STRUCTURAL STEEL

All structural steel construction to conform to AISC Manual of Steel Construction. Steel materials to be as follows: - ASTM A992 Ev=50 ks ---- ASTM A30, Fy=36 ksi ------ ASTM A501, Fy=35 ksi ------ ASTM A-325 Angles, channels, & plates---Pipe Columns -----

Anchor bolts-- ASTM A307 Anchor bolts-- ASTM A307 Anchor bolt nuts- ASTM A563

All welding to be performed by welders holding valid certificates and having current experience in type of weld shown on the drawings or notes. Certificates shall be those issued by and accepted testing agency. All welding by E70 Series low hydrogen rods. Welding per American Welding Society Standards. WOOD AND CARPENTRY

All lumber shall bear the stamp of a recognized lumber grading agency. Erect all wood framing in a workmanlike manner. Materials shall be as follows:

Vertical framing Douglas Fir No.2 Horizontal framingDouglas Fir No.1 Ledgers---Douglas Fir No.2 Wood Deck Sheathing board to comply and conform to PS 1. Nail deck per drawings and details. Rough hardwareRough hardware Simpson All nails to be common nails, sizes as indicated on nailing schedule and on drawings. Submit complete calculations and shop drawings for all wood truss members. Shop drawings to include placement drawings, erection drawings, and final and temporary bracing. GENERAL:

The contract drawings and specifications represent the finished structure. They do not indicate the method of construction. The contractor shall provide all measures necessary to protect the structure and any surrounding structures during construction. Such measures shall include, but not be limited to, bracing, shoring for loads due to construction equipment, and etc. Observation visits to the site by the Architect shall not include inspection of the above

Construction materials shall be spread out if placed on framed floor or roofs. Load shall not exceed the design live load per square foot SHOP DRAWINGS:

The following is the minimum shop drawings and submittal that are required for this project. Refer to project specifications for additional requirements and procedures. This list is included in these notes as an aid to the contractor in preparing his submittal. This is not intended to be a complete list of drawings and submittal that the contractor will require to do his work. This list specifically excludes architectural items except where they may have a structural impact. Refer to the specifications for additional shop drawing and submittal requirements and procedures. Incomplete or incorrect submittal will be rejected.

IT IS NOTED THAT THIS PROJECT CONSISTS OF REPAIR AND REPLACEMENT OF COMPONENTS IN AN EXISTING BUILDING. THE CONTRACTOR IS TO EXERCISE CARE NOT TO DAMAGE OTHER PORTIONS OF THE STRUCTURE DURING THESE REPAIRS. PROVIDE ALL NECESSARY SHORING, BARRICADES AND OTHER SAFETY MEASURES AS REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES FOR THIS TYPE OF CONSTRUCTION. SUPPLEMENTARY STRUCTURAL NOTES

1.01 SPECIAL CONSIDERATION FOR RENOVATION PROJECTS

A. In undertaking work of a rehabilitation or stabilization nature, it is inevitable that there will be conditions unknown to all parties involved. Therefore, certain items of the work may not be fully delineated or specified. B. The contractor shall preserve conditions of the original work, to the extent possible, with the exception of changes from original conditions explicitly indicated or specified.

C. Contractor to exercise care that damage to existing building is minimized during the repair process and construction. 1.02 WORKMANSHIP

A. Where not more specifically described in any of the various notes of these drawings, workmanship shall conform to all of the methods and operations of best standards and accepted practices of the trade or trades involved, and shall include all items of fabrication, construction or installation regularly furnished or required for completion, including any finish, and for successful operation as intended. B. All work shall be executed by mechanics skilled in their respective lines of work.

When completed, all parts shall have been durably and substantially built and shall present a neat, workmanlike appearance. 1.03 SAFETY

A. Comply with all applicable provisions of Federal, State, and Local laws pertaining to safety. 1.04 DRAWINGS AND SPECIFICATIONS

A. No responsibility will be assumed by the Owner or Engineer for omissions or duplications by the Contractor in the completion of the Contract due to any alleged error in the arrangement of the material in these Specifications or in the Drawings, nor shall any such segregation of work and materials operate to make the Engineer an arbiter in defining limits to the agreements between the Contractor and his Subcontractors and Suppliers. B. General Conditions, Supplementary General Conditions, Drawings, Specifications, and other contract Documents are complimentary. Nothing within the individual Sections of these Specifications shall be considered to waive any requirements of the other Contract Documents. C. The misplacement, addition, or omission of any letter, word, or punctuation mark, or lack of capitalization of a word, shall in no way damage the true spirit, intent, or meaning of these Specifications.

D. The words "shown," "indicated," "noted," "scheduled," or words of like effect shall be understood to mean that reference is made to the Drawings accompanying these Specifications. E. Standards: Reference to known standards within these Specifications shall mean and intend the latest edition or amendment published prior to the date of these Specifications, unless specifically stated otherwise, and to such portions of it that relate and apply directly to the material or installation called for on the project.

NTS 🔿

project information

ROOF IMPROVEMENTS PROJECT NAME: PAGE UNIFIED SCHOOL DISTRICT

PROJECT SITE:

OWNER:

ARCHITECT

PAGE MIDDLE SCHOOL 101 EL MIRAGE STREET PAGE, ARIZONA 86040 ARCHITECHNOLOGY INC. LARRY M. LIND, A.I.A. PRINCIPAL ARCHITECT / ROOF CONSULTANT 5229 N. 7TH AVE. STE 101 PHOENIX, ARIZONA 85013 P (602) 347-5226 F (602) 234-1561

500 S NAVAJO DR. P.O. BOX 1927

PAGE, ARIZONA 86040



page unified school district #8

GOVERNING BOARD:	BOARD PRESIDENT - DESIREE FOWLER
	CLERK - ED FRANKLIN
	BOARD MEMBER - DELORES MCKERRY
	BOARD MEMBER - ROBERT CANDELARIA
	BOARD MEMBER - SANDRA K. KIDMAN
SUPERINTENDENT:	ROBERT B. VARNER, Ed.S



applicable codes

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES:

city of page

2006 INTERNATIONAL BUILDING CODE 2006 INTERNATIONAL RESIDENTIAL CODE 2006 INTERNATIONAL PLUMBING CODE 2005 NATIONAL ELECTRICAL CODE 2005 INTERNATIONAL MECHANICAL CODE 2006 INTERNATIONAL FUEL GAS CODE

sheet index

- G0.0 COVER SHEET G1.0 PROJECT INFORMATION / REFERENCE SITE PLAN
- A1.0 OVERALL ROOF PLAN
- A1.1 BUILDINGS 1003 & 1002 ROOF DEMOLITION PLAN A1.2 BUILDING 1001 ROOF DEMOLITION PLAN
- A2.1 BUILDINGS 1003 & 1002 ROOF PLAN
- A2.2 BUILDING 1001 ROOF PLAN A3.1 DETAILS

scope of work description

BUILDING 1003 AND 1002

REMOVE EXISTING LOW SLOPE ROOF SYSTEM TO THE DECK SUBSTRATE AND DISPOSE OF PER LOCAL REQUIREMENTS, INCLUDING ALL ACCESSORIES SUCH AS EXISTING TERMINATION BARS AND SECONDARY FLASHINGS. INSPECT DECK SUBSTRATE AND MAKE REPAIRS WHERE REQUIRED FOLLOWING ALL LOCAL BUILDING CODES AND ALL ACCEPTED INDUSTRY WORKMANSHIP PRACTICES.

CONTRACTOR SHALL COORDINATE WITH DISTRICT AND LOCATE AND MARK ROOF TOP UTILITY ITEMS TO BE DEMOLISHED DURING DEMOLITION OF THE ROOF - LOW VOLTAGE, ELECTRICAL, PLUMBING, VENTS, CURBS, ETC. AND ABANDONED GAS LINES.

REMOVE AND DISCARD METAL PARAPET CAP. ADJUST MECHANICAL EQUIPMENT CURB HEIGHTS AS REQUIRED TO MEET ALL LOCAL BUILDING CODES.

INSTALL NEW APPROVED ROOF SYSTEM (SEE SPECIFICATIONS) FOLLOWING ALL MANUFACTURER RECOMMENDATIONS AND PRODUCT SPECIFICATIONS. NEW ROOF INSTALLATION TO MEET ALL LOCAL CODES INCLUDING THERMAL INSULATION RATING (R-VALUE). INSTALL NEW METAL ACCESSORIES INCLUDING BUT NOT LIMITED TO TERMINATION BARS AND SECONDARY FLASHINGS. NEW ROOF MEMBRANE TO EXTEND UP PARAPET WALL AND TERMINATE UNDER NEW METAL PARAPET CAP, FINISH TO MATCH EXISTING.

REMOVE ALL EXISTING PARAPET WALL SEALANTS, TOOL EXISTING SEALANT AND CLEAN AREA, INSTALL NEW APPROVED SEALANT PER MANUFACTURER SPECIFICATION. PREP ALL COATED AND EXPOSED PARAPET CMU BLOCK FOLLOWING ALL APPROVED

COATING MANUFACTURER RECOMMENDATIONS/DIRECTIONS AND SPECIFICATIONS. CONTRACTOR TO COAT THE EXTERIOR BLOCK SURFACES APPROVED COATING FOLLOWING ALL MANUFACTURER TWO COAT SYSTEM RECOMMENDATIONS AND SPECIFICATIONS. CONTRACTOR TO COLOR MATCH EXISTING FINISH.

RAISE ALL MECHANICAL CURBS AS REQUIRED TO MEET MINIMUM 8" FLASHING. CONTRACTOR TO RELEVEL ANY MECHANICAL EQUIPMENT THAT WAS MOVED OR MODIFIED DURING ROOFING ACTIVITIES.

ALL INCIDENTAL MECHANICAL, PLUMBING AND ELECTRICAL WORK TO BE PREFORMED BY LICENSED CONTRACTOR

REFER TO DRAWINGS AND SPECIFICATIONS FOR MORE DETAILED WORK SCOPE SEAL ANY OPEN DUCTWORK SEAMS LOCATED ON ROOF.

CONTRACTOR TO REPLACE ALL PIPE AND CONDUIT SUPPORTS LOCATED ON THE ROOF -SEE DETAILS FOR DURA-BLOCK IN THE DETAIL SHEET.

REPAINT GAS LINES YELLOW - VERIFY GAS COLOR WITH DISTRICT. PROVIDE NEW SURFACE MOUNTED COUNTER FLASHING AT INTERIOR WALLS THAT ARE NOT WRAPPED.

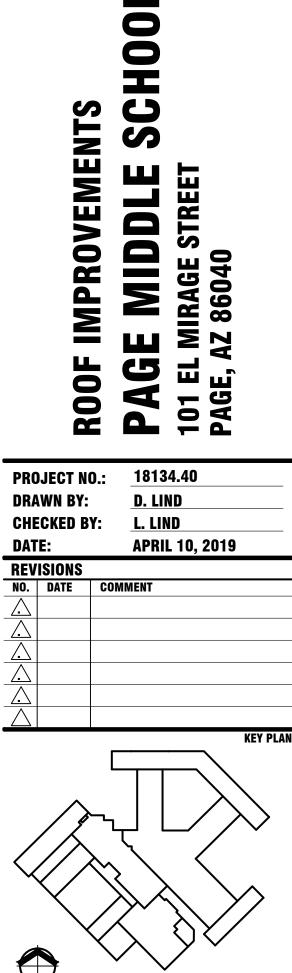
COAT ROOF SECTION SHOWN PER SPECIFICATIONS

BUILDING 1001

REMOVE AND DISCARD METAL PARAPET CAP.

INSTALL PEEL AND STICK MEMBRANE ON EXISTING NAILER PER SPECIFICATIONS REMOVE ALL EXISTING PARAPET WALL SEALANTS, TOOL EXISTING SEALANT AND CLEAN AREA, INSTALL NEW APPROVED SEALANT PER MANUFACTURER SPECIFICATION. SEAL ANY OPEN DUCTWORK SEAMS LOCATED ON ROOF.

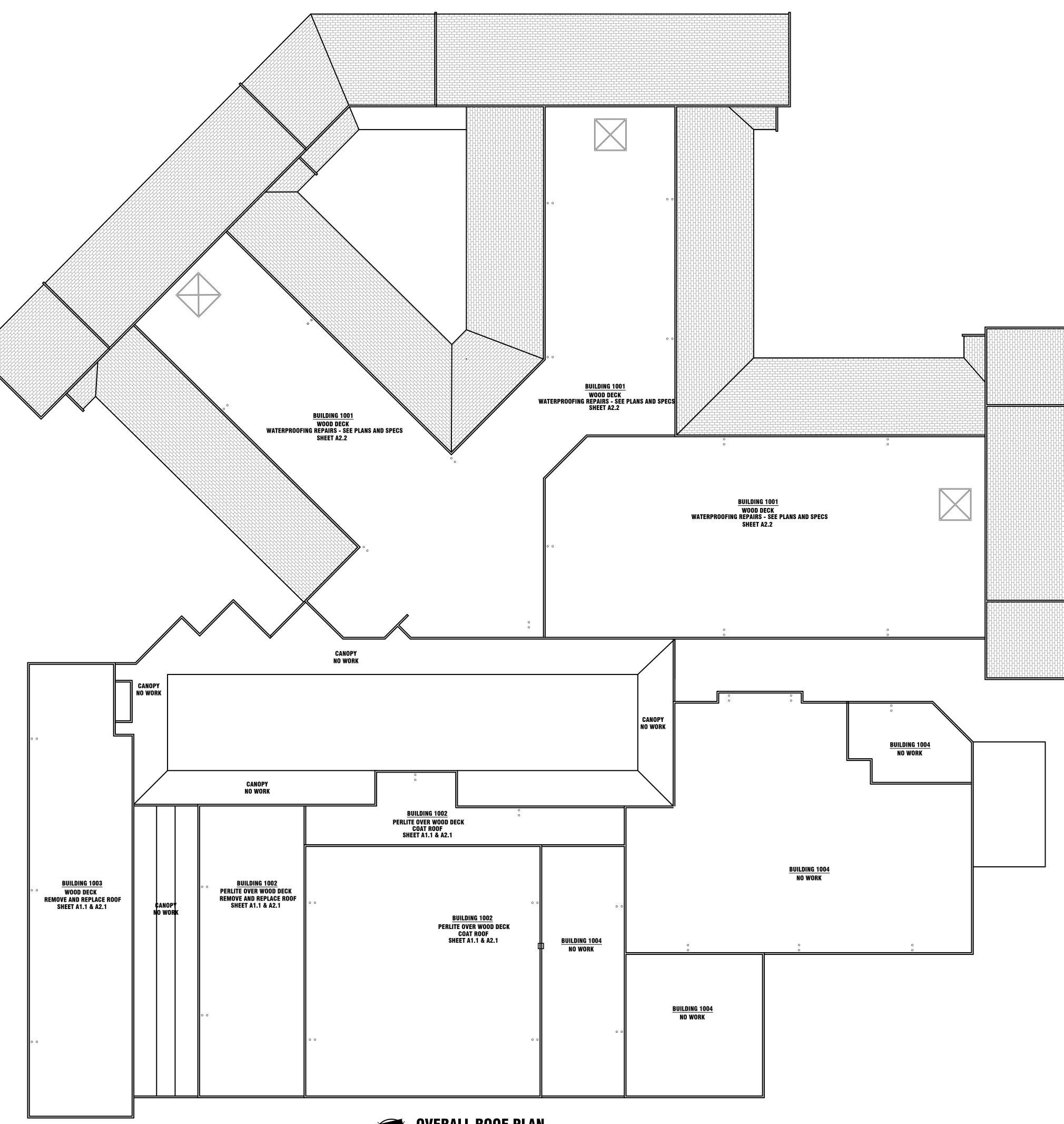
CLEAR ROOF DRAINS AND ENSURE PROPER OPERATION - PROVIDE NEW DARIN BASKETS



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GENERAL INFORMATION SITE PLAN

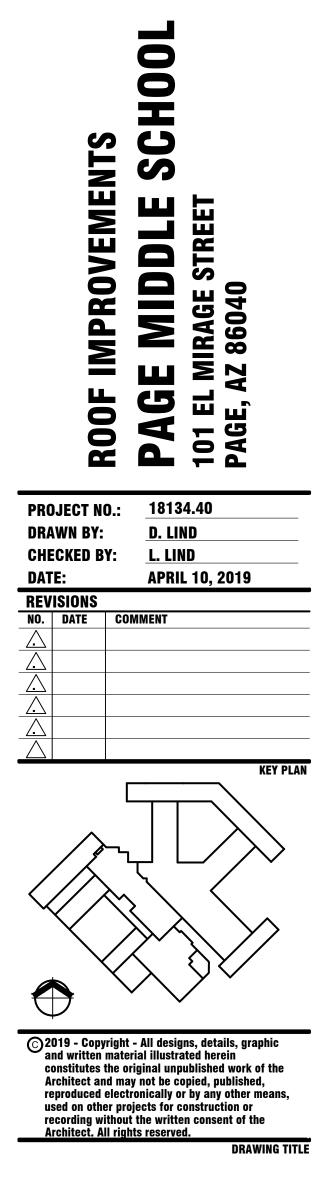




OVERALL ROOF PLAN scale: 1"=20'-0"

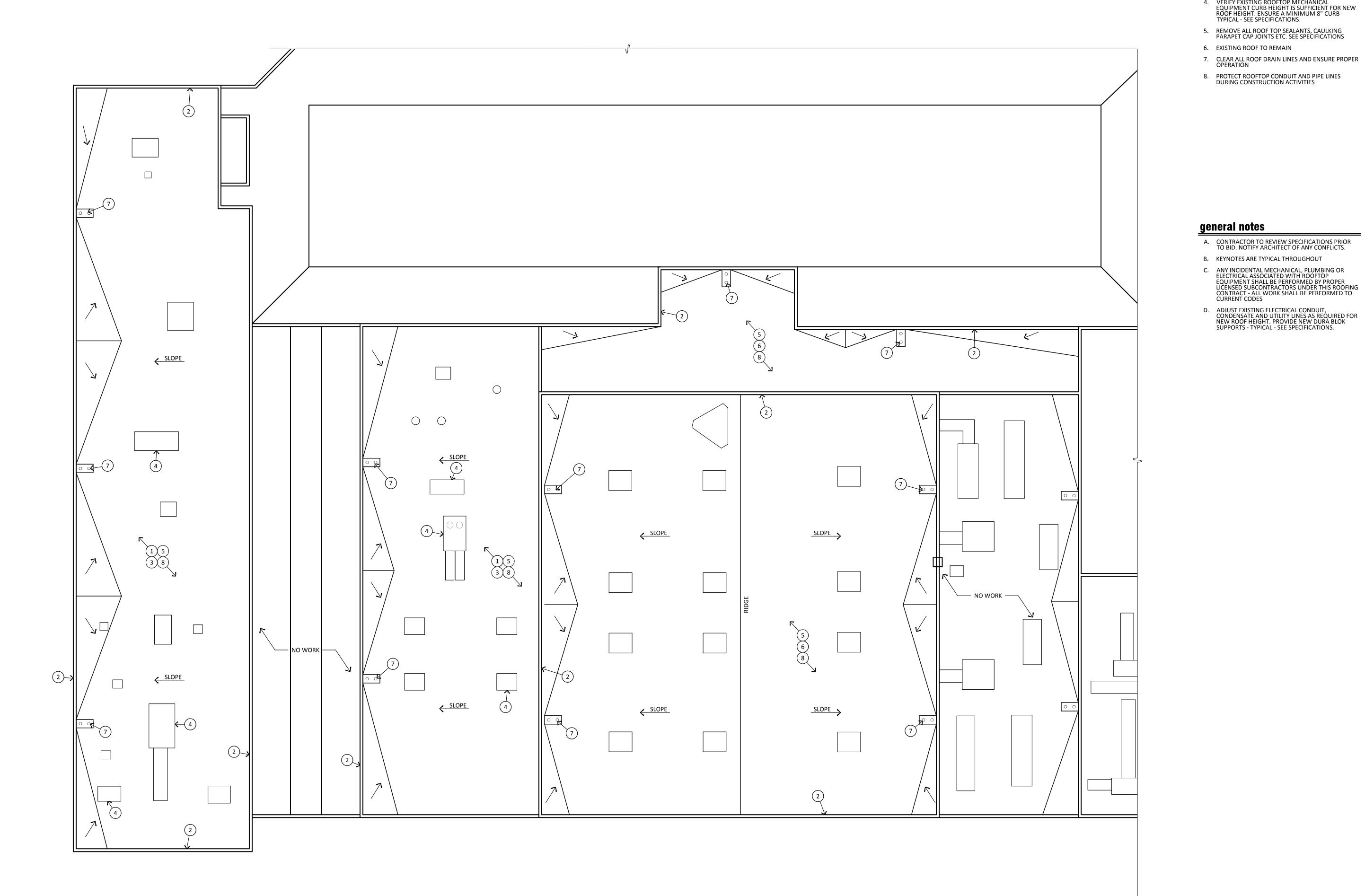






OVERALL ROOF PLAN







) **BUILDING 1002 AND 1003 ROOF DEMOLITION PLAN** scale: 3/32"=1'-0"

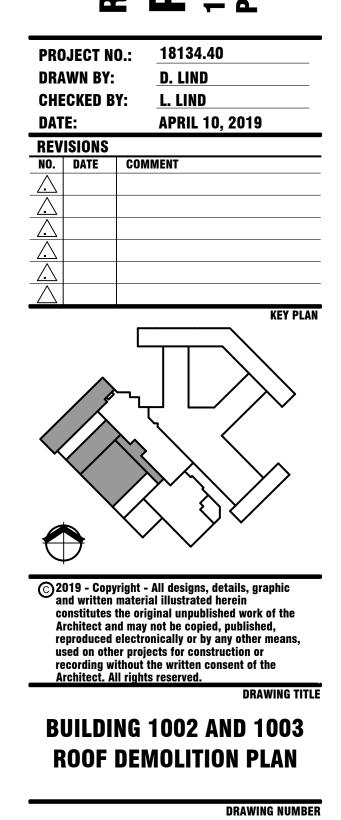
keyed notes

- 1. REMOVE EXISTING ROOFING SYSTEM TO DECK. INSPECT DECK AND MAKE ANY NECESSARY REPAIRS
- 2. REMOVE EXISTING METAL COPING AND DRIP EDGE
- REMOVE ALL METAL FLASHINGS, REGLETS, AND COUNTER FLASHINGS TYPICAL SEE SPECIFICATIONS.
- VERIFY EXISTING ROOFTOP MECHANICAL EQUIPMENT CURB HEIGHT IS SUFFICIENT FOR NEW ROOF HEIGHT. ENSURE A MINIMUM 8" CURB -TYPICAL SEE SPECIFICATIONS.
- 5. REMOVE ALL ROOF TOP SEALANTS, CAULKING PARAPET CAP JOINTS ETC. SEE SPECIFICATIONS
- 6. EXISTING ROOF TO REMAIN
- 7. CLEAR ALL ROOF DRAIN LINES AND ENSURE PROPER OPERATION
- 8. PROTECT ROOFTOP CONDUIT AND PIPE LINES DURING CONSTRUCTION ACTIVITIES

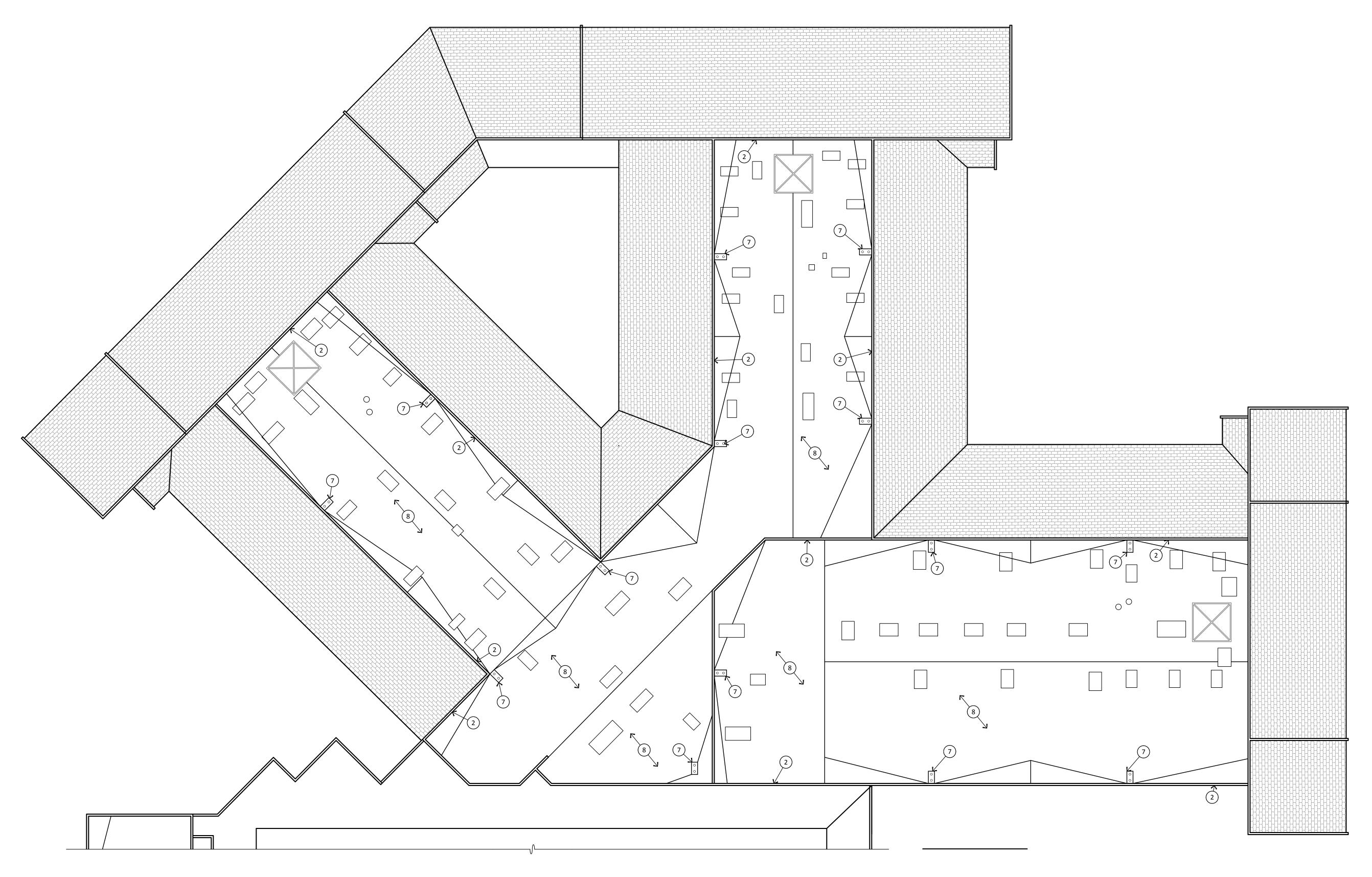








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) BUILDING 1001 ROOF DEMOLITION PLAN scale: 3/32"=1'-0"

keyed notes

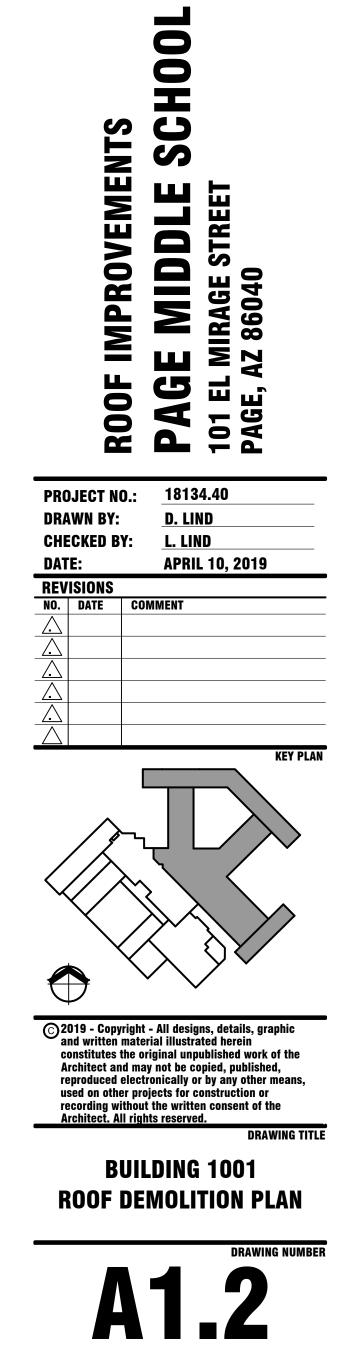
- 1. REMOVE EXISTING ROOFING SYSTEM TO DECK. INSPECT DECK AND MAKE ANY NECESSARY REPAIRS
- 2. REMOVE EXISTING METAL COPING AND DRIP EDGE
- . REMOVE ALL METAL FLASHINGS, REGLETS, AND COUNTER FLASHINGS TYPICAL SEE SPECIFICATIONS. 3.
- VERIFY EXISTING ROOFTOP MECHANICAL EQUIPMENT CURB HEIGHT IS SUFFICIENT FOR NEW ROOF HEIGHT. ENSURE A MINIMUM 8" CURB -TYPICAL SEE SPECIFICATIONS.
- 5. REMOVE ALL ROOF TOP SEALANTS, CAULKING PARAPET CAP JOINTS ETC. SEE SPECIFICATIONS
- 6. EXISTING ROOF TO REMAIN
- 7. CLEAR ALL ROOF DRAIN LINES AND ENSURE PROPER OPERATION
- 8. PROTECT ROOFTOP CONDUIT AND PIPE LINES DURING CONSTRUCTION ACTIVITIES

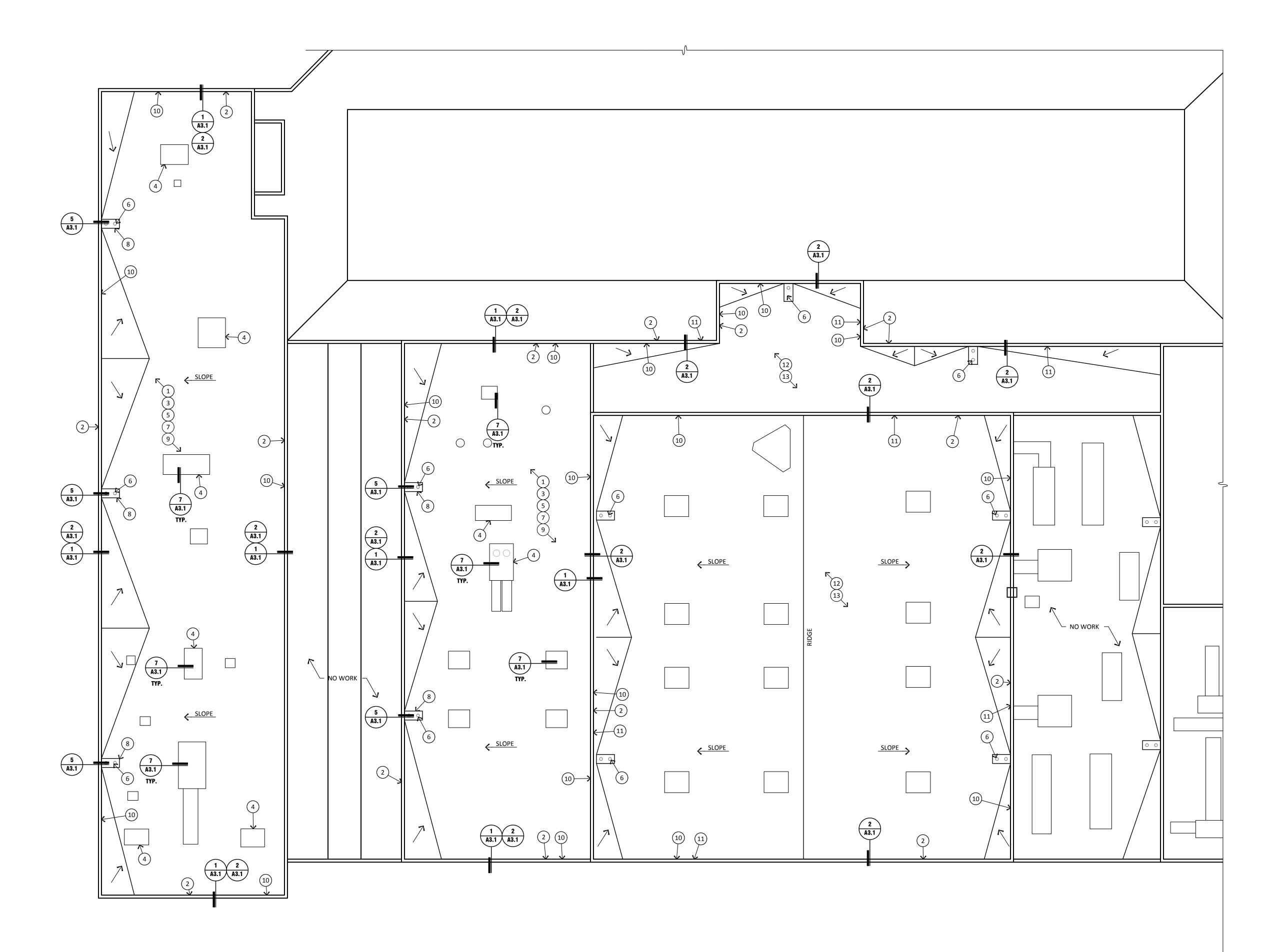




general notes

- A. CONTRACTOR TO REVIEW SPECIFICATIONS PRIOR TO BID. NOTIFY ARCHITECT OF ANY CONFLICTS. B. KEYNOTES ARE TYPICAL THROUGHOUT
- C. ANY INCIDENTAL MECHANICAL, PLUMBING OR ELECTRICAL ASSOCIATED WITH ROOFTOP EQUIPMENT SHALL BE PERFORMED BY PROPER LICENSED SUBCONTRACTORS UNDER THIS ROOFING CONTRACT ALL WORK SHALL BE PERFORMED TO CURRENT CODES
- D. ADJUST EXISTING ELECTRICAL CONDUIT, CONDENSATE AND UTILITY LINES AS REQUIRED FOR NEW ROOF HEIGHT. PROVIDE NEW DURA BLOK SUPPORTS TYPICAL SEE SPECIFICATIONS.







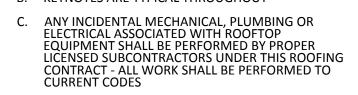
scale: 3/32"=1'-0"

keyed notes

- 1. INSTALL NEW ROOF SYSTEM ON COVER BOARD OVER NEW INSULATION SEE SPECIFICATIONS
- PROVIDE NEW METAL COPING PAINT PER DISTRICT STANDARDS SEE SPECIFICATIONS. 2.
- PROVIDE NEW METAL FLASHINGS, REGLETS, AND COUNTER FLASHINGS TYPICAL SEE SPECIFICATIONS.
- VERIFY EXISTING ROOFTOP MECHANICAL EQUIPMENT CURB HEIGHT IS SUFFICIENT FOR NEW ROOF HEIGHT. ENSURE A MINIMUM 8" CURB -TYPICAL SEE SPECIFICATIONS.
- 5. REPLACE ALL ROOF TOP SEALANTS, CAULKING PARAPET CAP JOINTS ETC. SEE SPECIFICATIONS
- CLEAR ALL ROOF DRAIN LINES AND ENSURE PROPER OPERATION PROVIDE NEW DRAIN BASKETS -TYPICAL SEE SPECIFICATIONS
- PROVIDE NEW DURA-BLOK SUPPORTS FOR ALL ROOFTOP CONDUIT AND PIPE LINES TYPICAL SEE SPECIFICATIONS
- 8. PROVIDE NEW SUMPS AS REQUIRED AT EXISTING DRAIN LOCATIONS TO ACCOMMODATE NEW ROOF HEIGHT.
- 9. EXTEND ALL MECHANICAL CONDENSATE LINES AS REQUIRED TO NEAREST PRACTICAL ROOF DRAIN. 10. PROVIDE BLOCK FILL AND SEAL ROOF SIDE OF PARAPET
- 11. INSTALL NEW HIGH TEMPERATURE MEMBRANE OVER EXISTING NAILER PRIOR TO INSTALLATION OF NEW COPING. PAINT TO MATCH DISTRICT STANDARDS. SEE SPECIFICATIONS TYPICAL
- 12. REPAIR MECHANICAL CURBS AND PENETRATIONS AS REQUIRED TO WATERPROOF THE STRUCTURE
- 13. PROVIDE ROOF COATING SEE SPECIFICATIONS
- 14. COAT INTERIOR SIDE OF PARAPET WALLS SEE SPECIFICATIONS

general notes

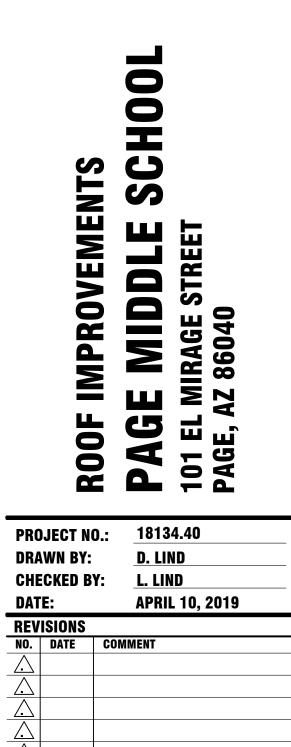
- A. CONTRACTOR TO REVIEW SPECIFICATIONS PRIOR TO BID. NOTIFY ARCHITECT OF ANY CONFLICTS.
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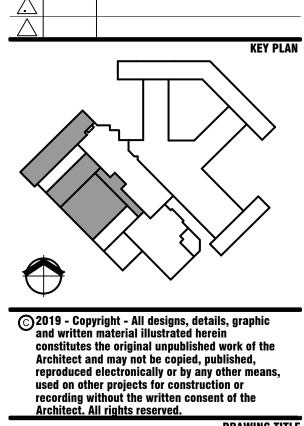


D. ADJUST EXISTING ELECTRICAL CONDUIT, CONDENSATE AND UTILITY LINES AS REQUIRED FOR NEW ROOF HEIGHT. PROVIDE NEW DURA BLOK SUPPORTS - TYPICAL - SEE SPECIFICATIONS.







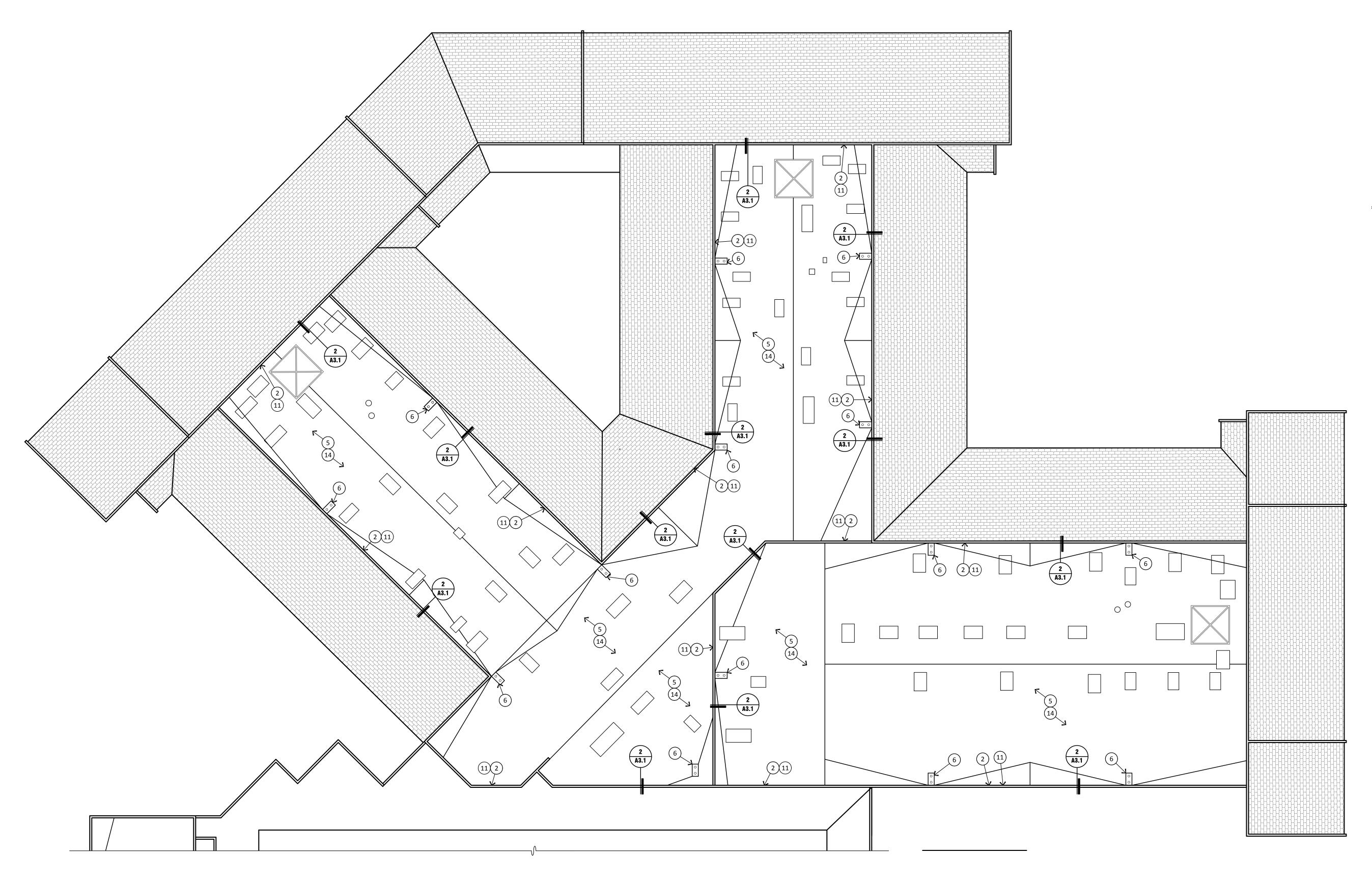


DRAWING TITLE

BUILDING 1002 AND 1003 ROOF PLAN

A2.1

DRAWING NUMBER





BUILDING 1001 ROOF PLAN scale: 3/32"=1'-0"

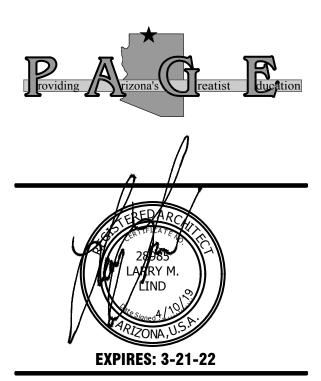
keyed notes

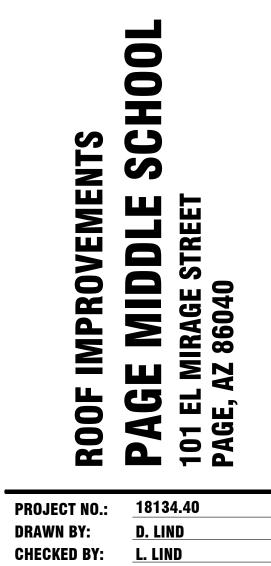
- 1. INSTALL NEW ROOF SYSTEM ON COVER BOARD OVER NEW INSULATION SEE SPECIFICATIONS
- PROVIDE NEW METAL COPING PAINT PER DISTRICT STANDARDS SEE SPECIFICATIONS. 2.
- PROVIDE NEW METAL FLASHINGS, REGLETS, AND COUNTER FLASHINGS TYPICAL SEE SPECIFICATIONS.
- VERIFY EXISTING ROOFTOP MECHANICAL EQUIPMENT CURB HEIGHT IS SUFFICIENT FOR NEW ROOF HEIGHT. ENSURE A MINIMUM 8" CURB -TYPICAL SEE SPECIFICATIONS.
- 5. REPLACE ALL ROOF TOP SEALANTS, CAULKING PARAPET CAP JOINTS ETC. SEE SPECIFICATIONS
- CLEAR ALL ROOF DRAIN LINES AND ENSURE PROPER OPERATION PROVIDE NEW DRAIN BASKETS -TYPICAL SEE SPECIFICATIONS
- PROVIDE NEW DURA-BLOK SUPPORTS FOR ALL ROOFTOP CONDUIT AND PIPE LINES TYPICAL SEE SPECIFICATIONS
- 8. PROVIDE NEW SUMPS AS REQUIRED AT EXISTING DRAIN LOCATIONS TO ACCOMMODATE NEW ROOF HEIGHT.
- 9. EXTEND ALL MECHANICAL CONDENSATE LINES AS REQUIRED TO NEAREST PRACTICAL ROOF DRAIN.
- 10. PROVIDE BLOCK FILL AND SEAL ROOF SIDE OF PARAPET 11. INSTALL NEW HIGH TEMPERATURE MEMBRANE OVER EXISTING NAILER PRIOR TO INSTALLATION OF NEW COPING. PAINT TO MATCH DISTRICT STANDARDS. SEE SPECIFICATIONS - TYPICAL
- 12. REPAIR MECHANICAL CURBS AND PENETRATIONS AS REQUIRED TO WATERPROOF THE STRUCTURE
- 13. PROVIDE ROOF COATING SEE SPECIFICATIONS
- 14. COAT INTERIOR SIDE OF PARAPET WALLS SEE SPECIFICATIONS

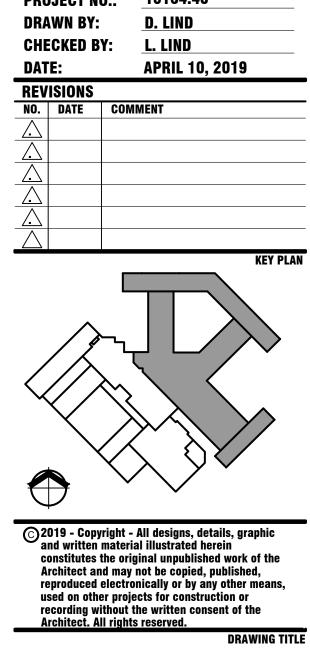


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- B. KEYNOTES ARE TYPICAL THROUGHOUT
- C. ANY INCIDENTAL MECHANICAL, PLUMBING OR ELECTRICAL ASSOCIATED WITH ROOFTOP EQUIPMENT SHALL BE PERFORMED BY PROPER LICENSED SUBCONTRACTORS UNDER THIS ROOFING CONTRACT ALL WORK SHALL BE PERFORMED TO CURRENT CODES
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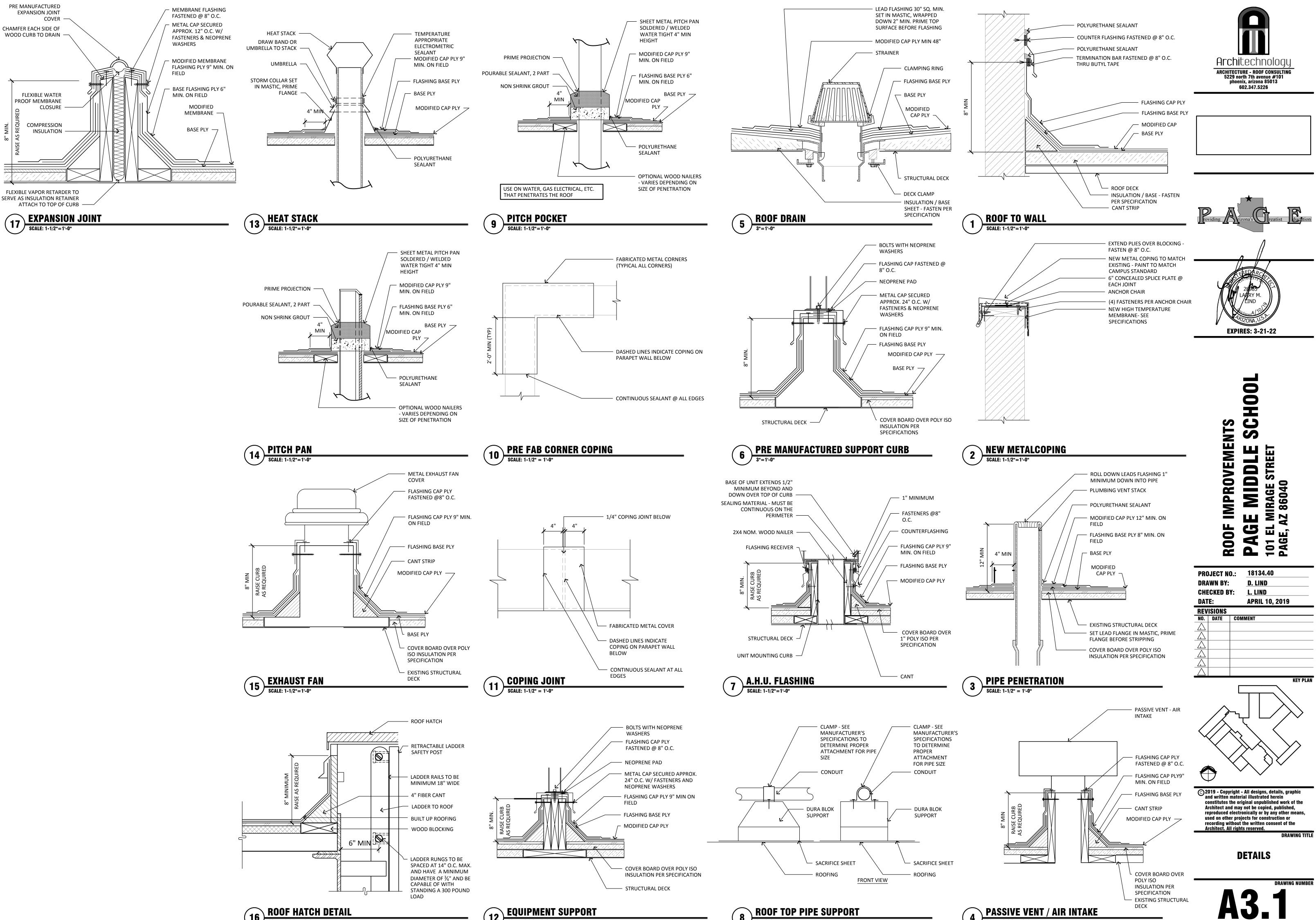


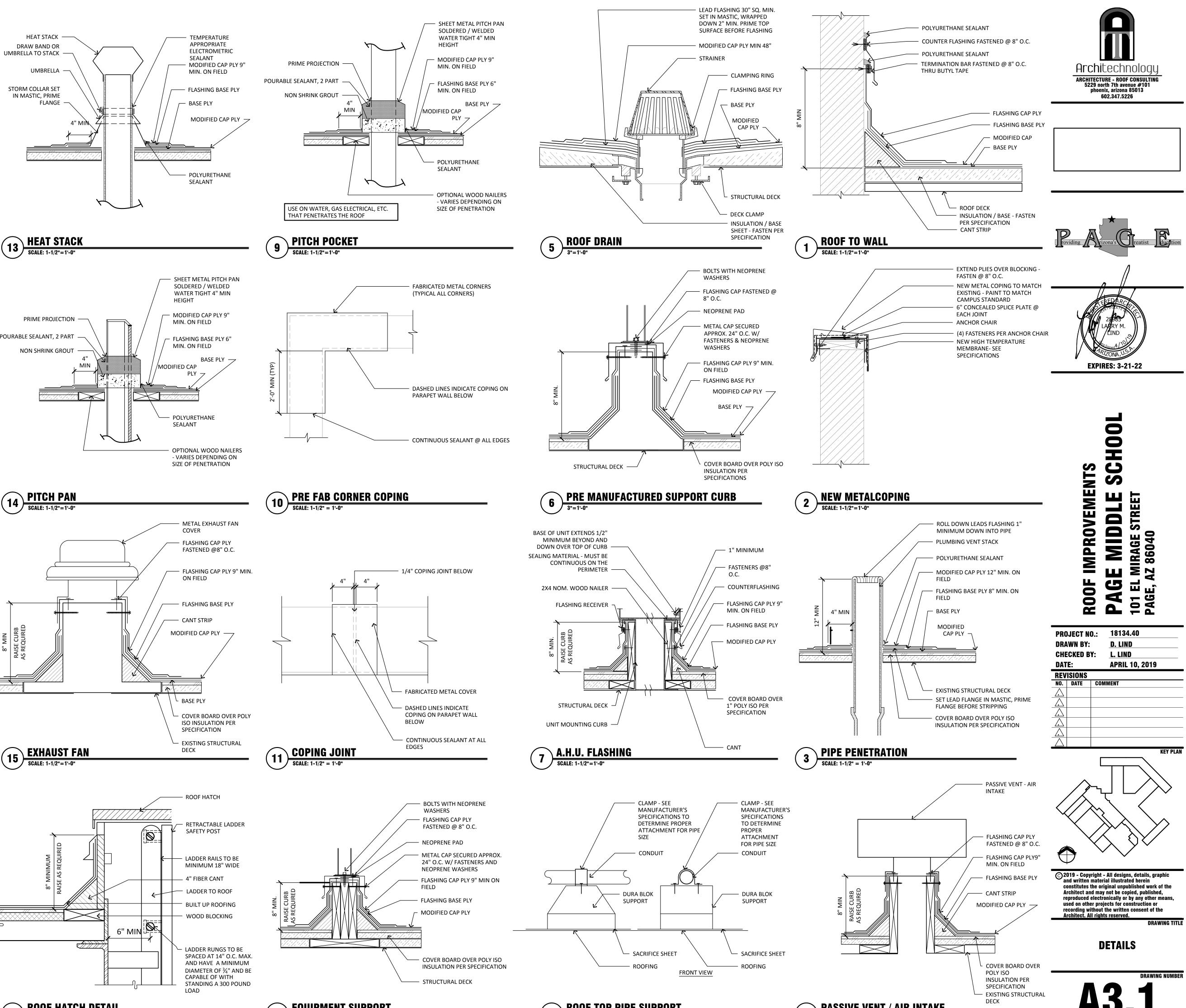


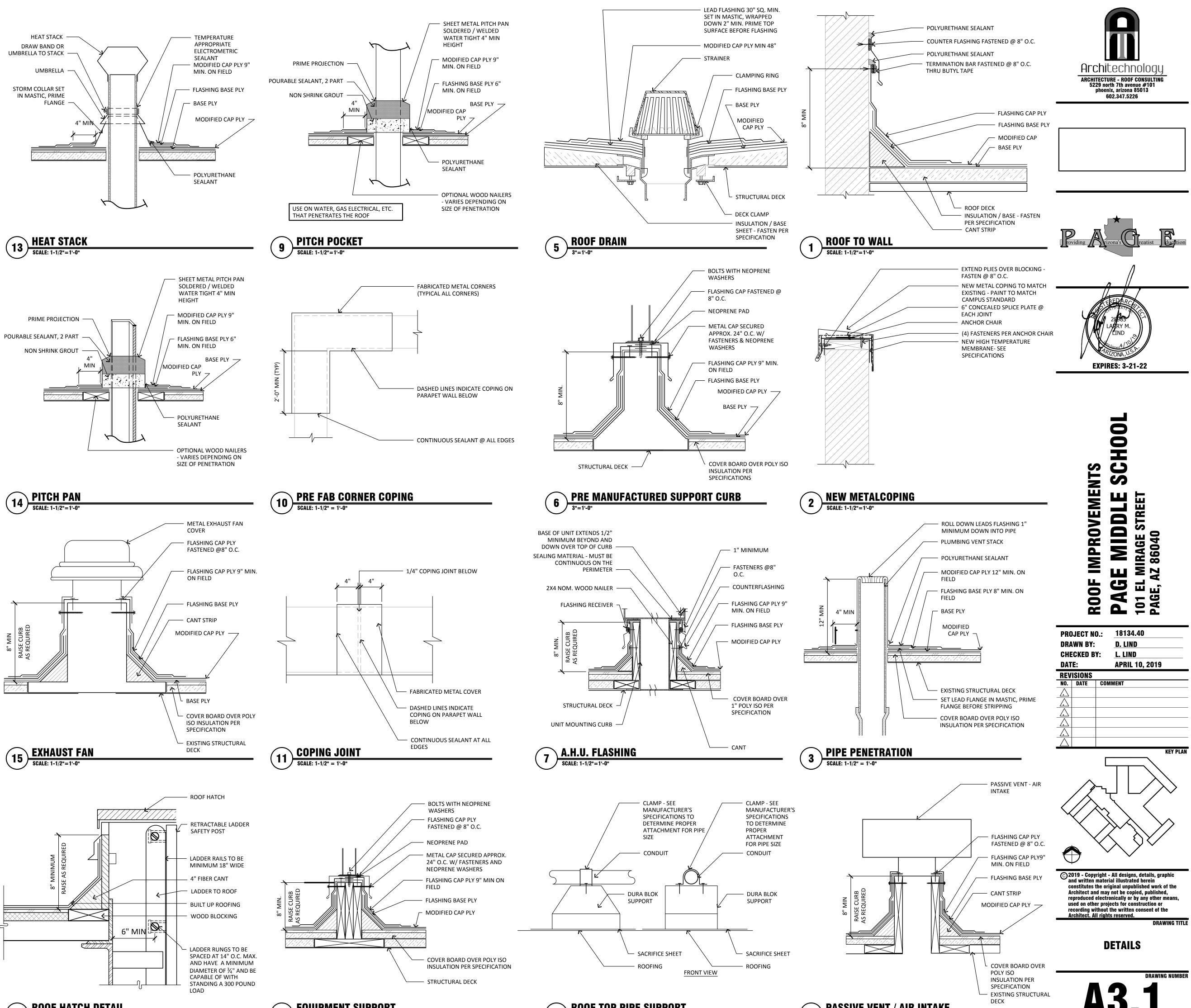


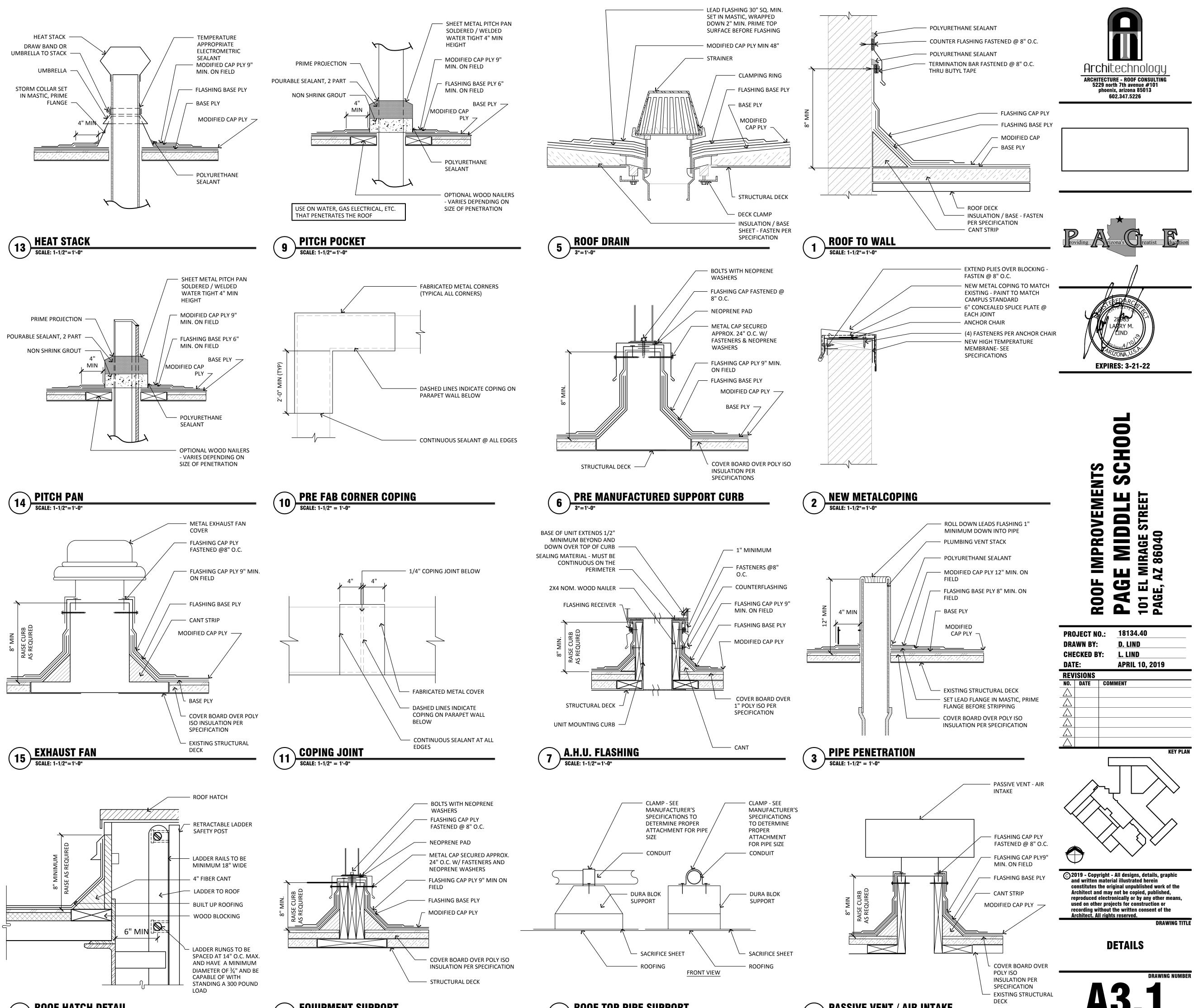
BUILDING 1001 ROOF PLAN













COMPARENT SUPPORT 12) SCALE: 1-1/2"=1'-0"

ackslash ROOF TOP PIPE SUPPORT $(8)^{1}$

4

SCALE: 1-1/2" = 1'-0"